

Special Use Permit #2023-00011
West End (Landmark) Comprehensive Sign Plan

Application	General Data	
Public hearing and consideration of a request for a Special Use Permit for a Comprehensive Sign Plan for West End (Landmark), excluding the Inova Hospital Campus blocks.	Planning Commission Hearing:	September 5, 2023
	City Council Hearing:	September 23, 2023
Address: 5801 Duke Street	Zone:	CDD #29 / Coordinated Development District #29
Applicant: Landmark Land Holdings, LLC c/o Foulger-Pratt represented by Kenneth Wire, Attorney	Small Area Plan:	Landmark Van Dorn Corridor Plan

Staff Recommendation: APPROVAL WITH CONDITIONS
Staff Reviewers: Jared Alves, AICP, Urban Planner III, Jared.Alves@AlexandriaVA.gov Maya Contreras, Principal Planner, Maya.Contreras@AlexandriaVA.gov Robert Kerns, AICP, Division Chief, Robert.Kerns@AlexandriaVA.gov

PLANNING COMMISSION ACTION, SEPTEMBER 5, 2023:

On a motion by Commissioner Lyle, seconded by Vice-Chair McMahon, the Planning Commission voted to recommend approval of SUP#2023-00011, West End/Landmark Comprehensive Sign Plan. The motion carried on a vote of 6-0-1, with Commissioner Ramirez abstaining.

Reason: The Planning Commission agreed with the staff analysis. The Commission found that the proposed Comprehensive Sign Plan provided the same or greater benefits to the public as the Zoning Ordinance sign requirements. The Commission agreed with a staff recommendation during the hearing to revise Condition 3 to clarify the intent of the future administrative flexibility for additional signage.

3. CONDITION REVISED BY PLANNING COMMISSION: Applicants may request **limited** administrative approval of additional signage **in size or number (but not type)** subject to the satisfaction of the Director of P&Z that the proposed signage design is:

- a. Consistent with the Comprehensive Sign Plan, including the quality of materials, overall design, and scale.
- b. **In response to final building, open space, streetscape, or storefront design not anticipated at the time of the original Comprehensive Sign Plan approval.**

Speakers:

Kenneth Wire, attorney, on behalf of the applicant, discussed the project and celebrated the continued progress in the redevelopment of the former Landmark Mall site. For the existing garage signs, Mr. Wire said that the applicant supports the proposed revision to preclude banner type materials. He noted that they did not receive the proposed change to the condition for administrative approval for future signage until shortly before the meeting and noted that they may continue to coordinate with staff on the language prior to the City Council meeting.

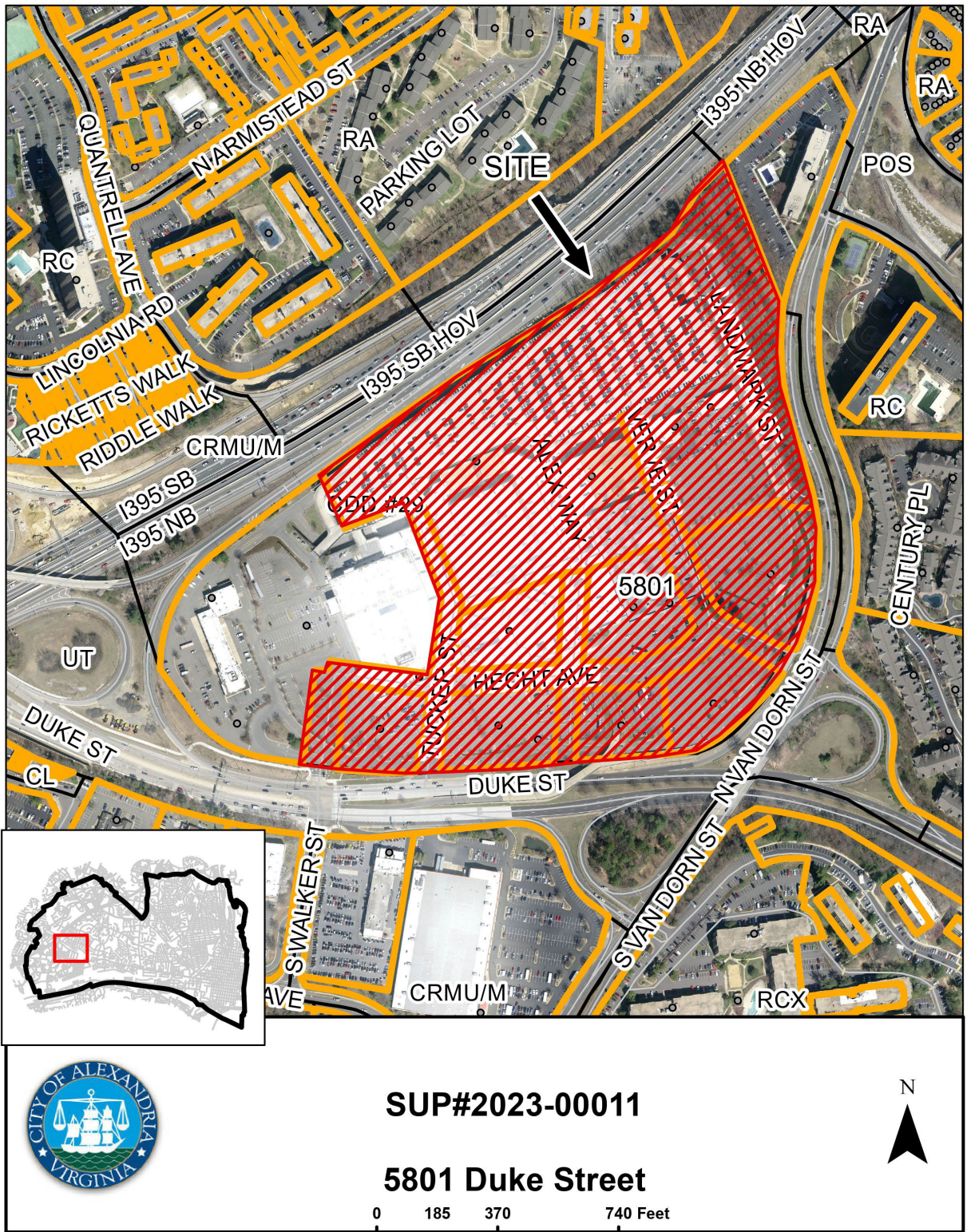
Chair Macek and Commissioner Lyle asked about the intent of the revisions to Condition 3. Staff said that the intent is to set appropriate bounds to the scope of the Director of Planning & Zoning's discretion for administrative approval of additional signage.

On a motion by Vice-Chair McMahan, seconded by Commissioner Lyle, the Planning Commission voted to close the public hearing. The motion carried on a vote of 6-0-1, with Commissioner Ramirez abstaining.

Commissioner Lyle said that she does not support the 10-year sunset for the tenant monument signs. She compared the project site to Cameron Station's inward facing retail, which has limited external retail signage. Although she recognizes the intent to make Duke Street human scale, she does not believe it will be human scale in 10 years without significant infrastructure funding. She also noted that national retailers will require signage at the scale of tenant monument signs. Potomac Yards is different because it is outward facing retail. She would remove the sunset clause completely or extend it to 20 years. She supports every other provision.

Chair Macek said he would have removed the tenant monument signs since they differ from how retail signage is handled elsewhere in the city. He said that Cameron Station differs because of the smaller scale of the interior retail as an attractor for non-residents to the area. He discussed Carlyle and the challenges with filling retail but noted that more signage would not likely solve the issue. He believes that a 10-year sunset clause is reasonable.

Vice-Chair McMahan said that signage may not be as important for people finding their way to the West End Alexandria due to the density of residential and mix of uses, including the hospital campus, which are different than Cameron Station. It will be a destination. She noted that social media and networks of information will help people discover the businesses more so than seeing a sign when driving by the neighborhood. She supports the proposed conditions including the revisions to Condition 3.

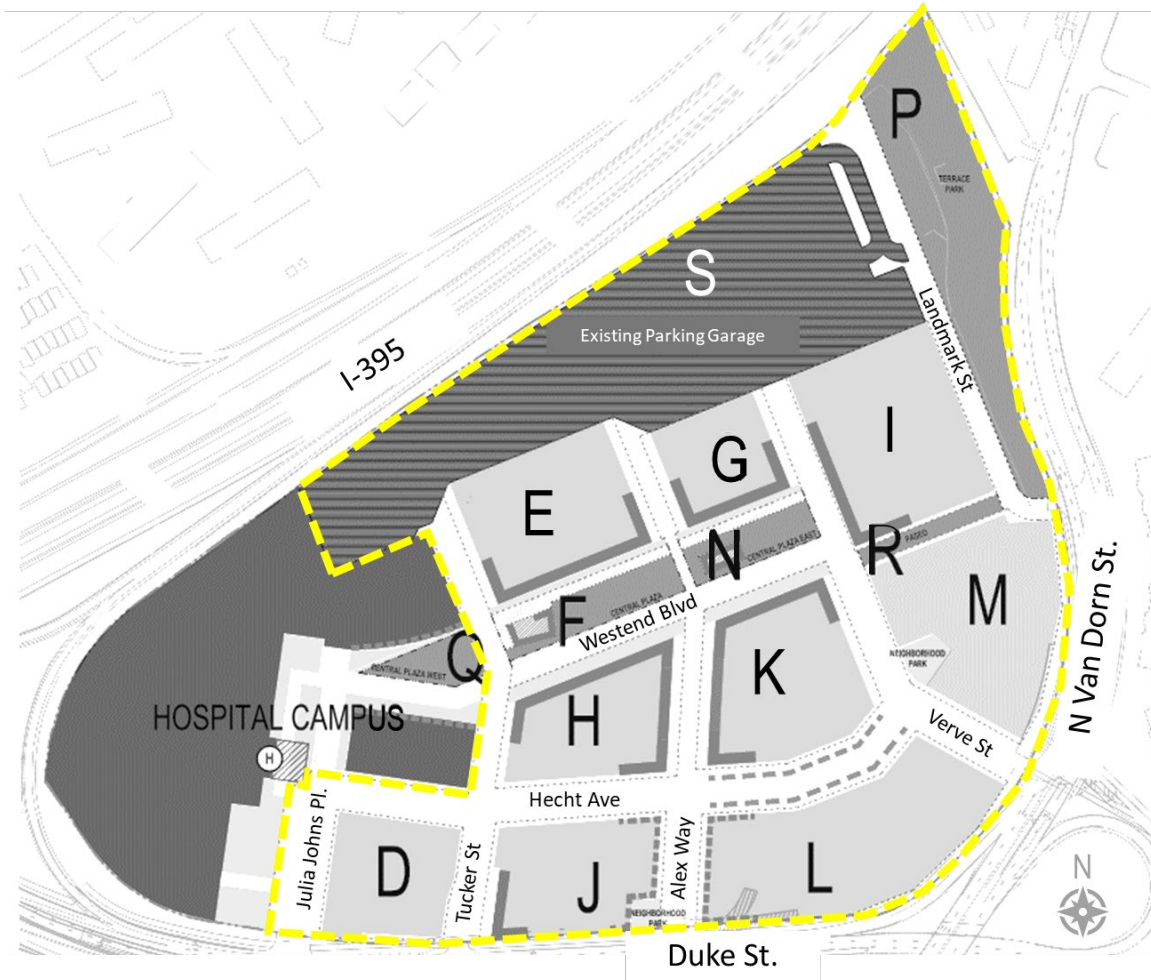


PROJECT LOCATION MAP

I. DISCUSSION

The applicant, Landmark Land Holdings, LLC, requests Special Use Permit (SUP) approval for a Comprehensive Sign Plan for signage in Blocks D, E, F, G, H, I, J, K, L, M, N, P, R, and S; and public and private streets, as shown below in Figure 1. The Inova Hospital Campus, which includes Blocks A and Q, will request a separate SUP for a Comprehensive Sign Plan.

Figure 1: Boundaries of the Comprehensive Sign Plan



A. Site Description

The subject site encompasses approximately 41 acres of the former 52-acre Landmark Mall, since renamed West End Alexandria. The proposed boundaries for the Comprehensive Sign Plan align with the non-hospital campus blocks, open spaces, and streets. Duke Street is to the south, N Van Dorn Street is to the east, I-395 is to the north, and the site of the future Inova Hospital Campus is to the west. The site is currently vacant, with the demolition of the former shopping mall and outlying buildings occurring in 2022. Once complete, West End Alexandria will be a

new neighborhood featuring residences, offices, retail, restaurants, a fire station, publicly accessible open spaces, and the hospital campus.

The surrounding land uses are multifamily residential and large format commercial. To the east are mid- and high-rise multifamily residential, including Place One Condominiums, The Point Alexandria, and Broadstone at Van Dorn. To the South across Duke Street are mid- and high-rise multifamily residential including Mason at Van Dorn, Key Towers Apartments, and Landmark Towers. Other uses include large format commercial like BJ's Wholesale Club, a MINI auto dealership, and some small office buildings and restaurants with surface parking lots. The former Big Lots! and the areas around it are the Landmark Overlook development, anticipated to begin construction in Fall 2023. To the North, across I-395 are mid- and high-rise multifamily residential like Bennington Crossings Apartment Homes and Seasons Condominiums as well as a townhouse neighborhood.

B. Background

Replanning for the site began in 2009 with the Landmark/Van Dorn Corridor Plan. After delays due to changes in the site's ownership structure and the real estate market, the project evolved with the Landmark Neighborhood Chapter of the Landmark/Van Dorn Corridor Plan approved in 2019. In 2020, Foulger-Pratt became the master developer and partnered with the owners (The Howard Hughes Corporation and Seritage Growth Properties), Inova Alexandria Hospital, and the City to redevelop the former Landmark Mall site. Subsequently, the Planning Commission and City Council have approved several land use applications:

- **July 2021**, CDD Concept Plan #2020-00007 and associated applications for the 5.6 million sq. ft. redevelopment,
- **June 2022**, Infrastructure Plan DSP #2021-00012 to construct the roads, pipes, wires, and Subdivision #2021-00012 to create the individual blocks,
- **December 2022**, DSUPs #2022-10015, #2022-10016, and #2022-10017 for Blocks I, K, and E & G, respectively; and Street Naming Case #2022-0003, and
- **March 2023**, DSUP #2022-10023 for the Inova Hospital Campus.

CDD Condition #120 requires Comprehensive Sign Plan approval prior to release of the first Final Site Plan for the first building within the CDD plan area. The condition enables the Inova Hospital Campus to request a standalone Comprehensive Sign Plan for their portion of the site, hence the focus of this application on the non-hospital campus blocks. If approved, the proposed Comprehensive Sign Plan would apply to each of the buildings as owners and tenants seek permits in the future.

C. Applicant Proposal

The Comprehensive Sign Plan proposes to provide clear and consistent guidance on the quality, design, and materials for individual tenant signs, plus integrated informational and wayfinding signs across the site. Per §9-103(C), the applicant is requesting the Coordinated Sign SUP to encompass 14 blocks plus streets within West End Alexandria. Through the SUP, the applicant seeks to increase the number, type, area of signage, and hours of operation for signs to align with

the density, scale, and activity expected within the neighborhood. The plan establishes guidelines for four sign categories:

1. **Building Signage:** detailing options for each building, including sign types such as building top, major/minor entrances, parking (including signs on the existing Landmark Mall garage), loading, and the transit hub.
2. **Retail Signage:** detailing options for commercial tenants, such as retail and restaurants, including types, location, materials, and permitted square footages. Categories include entrance, projecting, and window signs.
3. **Site Signage:** detailing options for informational and directional signs in the public realm. Categories include wayfinding signs for vehicles and pedestrians, interpretative signs, and wall murals. To ensure consistency, the applicant has adopted the City's wayfinding standards where applicable.
4. **Park & Trail Signage:** detailing options for publicly accessible open spaces, with types including directional, rules and regulations, and trail marker signs.

Without a Comprehensive Sign Plan, a CDD would adhere to §9-202(A) of the Zoning Ordinance. Starting with the signage permitted in §9-202(A), the applicant requests the additional signage detailed below with their application. As detailed further in the Staff Analysis section, Staff supports most of the requests, as revised by Condition 10.

- a. The applicant requests a digital text or graphic sign, Parking Structure Digital Marquee^{F1-00} that would be on the existing parking garage and face I-395, with a maximum size of 900 sq. ft. The Zoning Ordinance prohibits electronic signs per § 9-104(B)7 and billboards exceeding 100 sq. ft. per § 9-104(B)12 in all zoning districts. ***The applicant and Staff have mutually agreed to remove this sign from the plan, per Condition 10.***
- b. The applicant requests digital text or graphic signage with Structure Parking Entrance Signage^{G1-00} and the Digital Pedestrian Wayfinding Directory^{L1-00}. The Zoning Ordinance prohibits electronic signs per § 9-104(B)7 in all zoning districts. ***Staff supports these proposed signs.***
- c. The applicant requests two types of signs that may be located higher than 35-ft. above the grade. Building Top/Façade Signage^{B1-00} may be located above 35-ft. and the top of Major Building Entrance (Substitution) – Blade Signage^{E1-00} could be up to 45-ft. above grade. ***Staff supports these proposed signs, with B1-00 as revised by Condition 10.***
- d. The applicant requests Wall Mounted Community Identification Signage^{A1-00} of up to 200 sq. ft. without a height maximum and Community Entrance Identification Icon^{A4-00} up to 120 sq. ft. without a height maximum, which exceed the maximum allowed 24 sq. ft. and may exceed the maximum of 36 inches in height, per § 9-202(A)iii.2 in CDD zoning districts. The Zoning Ordinance also specifies setback requirements of at

- least 10-ft. from the front lot line. ***Staff supports this proposed sign, with A4-00 as revised by Condition 10.***
- e. The applicant requests up to five Community Entrance Tenant Identification Monument^{A5-00} freestanding signs with a maximum square footage of 120 ft. without a maximum height. § 9-202(A)iii.5 restricts these signs to no more than 32-40 sq. ft. (depending on the size of the property and number of businesses) and no taller than 6-ft. in CDD zoning districts. ***Staff supports these proposed signs, as revised by Condition 10.***
 - f. The applicant requests permission for 1.5 sq. ft. of signage per linear foot of frontage for blocks with mixed uses and up to 2 sq. ft. of signage per linear foot for exceptional sign design. This request exceeds the Zoning Ordinance's prescribed maximum of one square foot per linear foot of frontage per § 9-202(A)iii.6.a for CDD zoning districts. ***Staff supports this proposed square footage allowance.***
 - g. The applicant requests permission for Major Building Entrance – Façade Signage^{C1-00} that may be up to 25-ft. above grade to the top of the sign. This request exceeds the Zoning Ordinance, which limits wall signs to no higher than 20-ft. above grade per § 9-202(A)iii.7 for CDD zoning districts. ***Staff supports this proposed sign.***
 - h. The applicant requests permission for Major Building Entrance (Substitution) – Blade Signage^{E1-00} that may be up to 90 sq. ft. per side. This size exceeds the Zoning Ordinance's limit of 16-24 sq. ft. per § 9-202(A)iii.8-9 for CDD zoning districts. ***Staff supports this proposed sign.***
 - i. The applicant requests permission to allow each ground-floor tenant to install Retail Storefront Projecting Blade Signage with a maximum of 12 square feet *per sign*. This request exceeds the Zoning Ordinance's maximum of 16 square feet *per building* per § 9-202(A)iii.8 for CDD zoning districts. ***Staff supports this proposed square footage allowance.***
 - j. The applicant requests window signage up to 25 percent of the glazed area of each window. This request exceeds the Zoning Ordinance's prescribed maximum of 20 percent per glazed window area per § 9-202(B) for CDD zoning districts. ***Staff supports this proposed size allowance.***
 - k. The applicant requests several pedestrian oriented signs that may exceed the § 9-202(A)iii.5 restriction of a maximum height of 6-ft for CDD zoning districts. These signs are Digital Pedestrian Wayfinding Directory^{L1-00} and Pedestrian Wayfinding Directional^{M1-00}, with proposed maximum sizes 30 sq. ft. and no height limit and Park & Trail Pedestrian Directional^{N1-00} and Park & Trail Rules & Regulations^{P1-00} with proposed maximum sizes of 20 sq. ft. and no height limit. ***Staff supports the proposed sizes for these signs.***
 - l. § 9-101(B) prohibits signs not allowed by right or by special use permit

D. Zoning/Master Plan Designation

Zoning

Section 9-103(C) of the Zoning Ordinance permits a Coordinated Sign SUP for sites within specific zones or over a minimum size. The applicant must submit a Comprehensive Sign Plan for City Council review that establishes the time, manner, and placement of signs and establishes the design parameters for all proposed signs. The City Council may then approve the Coordinated Sign Plan if the proposal, “provides the same or greater benefits to the public as the sign regulations otherwise applicable.” As noted previously, the CDD #2020-00007 approval requires the applicant to pursue a Coordinated Sign SUP.

Small Area Plan

The Landmark Van Dorn Corridor Plan: Landmark Mall Chapter is the relevant Small Area Plan (SAP) for this site. The SAP offers flexibility for the site signage by not detailing specific design requirements. However, the chapter references signs on a few occasions:

Open Space for Each Development Block. *Publicly accessible ground level open space should be prioritized, and all publicly accessible open space, whether at- or above-grade, should be visible and easily accessible from the adjoining streets using such elements as signage, lighting, and building design configuration. (emphasis added)*

Gateway and Placemaking Opportunities. *Because the interior of the neighborhood is elevated from the street level of Duke Street and N. Van Dorn Street, buildings defining gateway locations along these corridors should consider creative ways of drawing people into the neighborhood. Creative use of building massing, height, signage/wayfinding, lighting, and use of public art is encouraged within the neighborhood and at gateway locations to draw interest, enhance site lines, and direct people into and within the neighborhood. (emphasis added)*

Building Streetwall, Gateway and Placemaking Opportunities. *The Enhanced Retail Entrance will include elements such as signage, public art, lighting, architectural massing, setbacks, and other comparable features as determined during the development review process. (emphasis added)*

The SAP recommends neighborhood-wide design standards, including standards for signage/wayfinding. The proposed Comprehensive Sign Plan would establish those standards and guide sign design and placement as the site redevelops.

II. STAFF ANALYSIS

Staff supports the applicant’s request for a Coordinated Sign SUP to provide a cohesive and consistent approach to signage and wayfinding in the Landmark Mall redevelopment. The proposed sign plan provides a framework that will ensure a consistent application of dynamic, high-quality, and visually interesting signage in the neighborhood that will help establish a strong sense of place. In addition, the requests are comparable to the Comprehensive Sign Plan

approved for the Potomac Yard redevelopment, SUP#2020-00043. While analyzing the West End plan, Staff referred to § 9-103(C) of the Zoning Ordinance, which indicates that a Coordinated Sign SUP may be permitted if the proposed signage “provides the same or greater benefits to the public as the sign regulations otherwise applicable.”

Given the December 2022 approvals for Blocks E, G, I, and K and the expected uses outlined in the CDD for the remaining development blocks and open spaces, the applicant’s proposed sign plan offers the flexibility to provide adequate signage for the future uses and tenants. The plan outlines signage appropriate in scale to small and large tenants, while also establishing baselines for design and materials. Staff has also reviewed the proposal to ensure that the Comprehensive Sign Plan will not adversely affect the surrounding areas.

Staff finds the clear set of wayfinding signs, consistent with established City guides for parks and vehicles, will ensure a seamless experience between the public and private realms and align the site with the City’s overarching wayfinding program. Unique wayfinding kiosks and limited uses of digital signage have been located appropriately to provide clear information for visitors and residents and will begin to express the identity of West End Alexandria.

Like the Potomac Yard Comprehensive Sign Plan, Staff have proposed Condition 3 to provide the applicant with flexibility for Staff to review additional signage for locations within the site administratively. This condition sets parameters for additional signage, which are consistent with the established design of the applicant’s on-site signage. Condition 4 limits noise from digital signage to a narrow application of providing information to those who are hard of hearing and sets maximum decibel levels.

Revisions to the Sign Plan

Since submitting the Comprehensive Sign Plan, Staff have continued to work with the applicant to refine the package and, excepting Parking Garage Façade Signage^{B2-00}, Condition 10 specifies mutually agreed upon revisions. Most of the revisions clarify when signs count toward the maximum allowed square footage for a façade or the total number of signs of a given type that may be permitted.

Condition 10 requires removing the reference to the Parking Structure Digital Marquee^{F1-00}, and the applicant has agreed to do so. While Coordinated Sign SUPs may include sign types otherwise prohibited by the Zoning Ordinance, this sign presents a potential distraction to motorists on I-395 and this sign type at this scale does not currently exist within the City or nearby Northern Virginia jurisdictions.

In addition to revising the number and heights of proposed Community Entrance Tenant Identification Monument^{A5-00} signs, Staff also recommend sunsetting these signs after 10 years. The applicant has agreed to this clause because the Small Area Plan calls for changing streets like Duke and N Van Dorn into urban transit boulevards, transforming the character from suburban to transit-oriented, and to “humanize the high-capacity roadways and create a much more appealing front door to the community.” These types of monument signs are more suitable for suburban shopping malls on high-speed, motor vehicle dominated roadways. However, Staff agree that humanizing Duke and N Van Dorn Streets is an ongoing process and that these types

of signs may be necessary in the interim to attract customers to the retailers in the neighborhood.

B2 00 Parking Garage Façade Signage (Banners)

Finally, Staff generally support the proposed Parking Garage Façade Signage^{B2-00} that would enable large-scale, static tenant signage on the existing garage facing I-395. However, Staff do not support static banners. § 9-102(E) defines banners as “a temporary sign of flexible material.” As proposed, the garage could host up to 12 banners that are up to 100 sq. ft. each. Large, static signs on the exterior of the garage made from permanent materials would be less likely to fade or degrade with time or due to their cost would encourage attention to regular maintenance unlike the types of temporary materials used for banners that may become worn and tattered much more frequently. Therefore, to encourage the “aesthetic quality in the design... of all signs” per § 9-101(A), Staff recommend excluding banners from the list of acceptable Parking Garage Façade Signage^{B2-00}.

With the changes recommended by Condition 10, Staff finds that the Comprehensive Sign Plan provides the appropriate signage for the West End Alexandria mixed-use, urban neighborhood that is consistent with the types of signage approved for Potomac Yard and other similar developments in the region. Staff finds the signage is appropriate for the scale of the buildings and will provide clear visual information for the expected mix of pedestrians, cyclists, bus riders, and motorists who will pass through the neighborhood.

III. COMMUNITY

The applicant held a virtual community meeting on August 8, 2023, to present the proposed signage. Community members noted the importance of having adequate retail signage for the site and asked about the operation of the then proposed digital billboard. The applicant maintains a website: www.WestEndVA.com to provide ongoing updates on the redevelopment of the Landmark site. Additional information is available on the City’s webpage: www.AlexandriaVA.gov/Landmark.

IV. CONCLUSION

Staff recommends approving the Comprehensive Sign Plan subject to compliance with all applicable codes, ordinances, and the recommended conditions included in this report.

STAFF: Robert Kerns, AICP, Division Chief, Department of Planning and Zoning
 Maya Contreras, Principal Planner
 Jared Alves, AICP, Urban Planner

V. STAFF RECOMMENDATIONS

Staff recommends **approval** subject to compliance with all applicable codes and ordinances and the following conditions:

1. The type and approximate location of signage shall be consistent with the Coordinated Sign Plan dated June 8, 2023. Sign permits in West End (Landmark) may be administratively reviewed by staff to the satisfaction of the Director of P&Z to ensure the final design of signage is consistent with the intent of the coordinated sign plan. (P&Z)
2. The final location of site signage located within public rights-of-way shall be coordinated with City Staff, including the Departments of P&Z, T&ES, and RP&CA, as applicable. (P&Z) (T&ES) (RP&CA)
3. **CONDITION REVISED BY PLANNING COMMISSION:** Applicants may request **limited** administrative approval of additional signage **in size or number (but not type)** subject to the satisfaction of the Director of P&Z that the proposed signage design is:
 - a. Consistent with the Comprehensive Sign Plan, including the quality of materials, overall design, and scale.
 - b. **In response to final building, open space, streetscape, or storefront design not anticipated at the time of the original Comprehensive Sign Plan approval.**
4. Digital signage shall not have an auditory component, excepting audio that provides necessary information to those who are visually impaired. Any auditory components generated by the digital signage for the L1 00 Digital Pedestrian Wayfinding Directories shall be less than 55 dBA at 20 feet from the sign. (P&Z) (T&ES)
5. Internally illuminated box signs are prohibited. (P&Z)
6. The applicant is responsible for repairing any damages to City right-of-way that may occur during sign installation. (TE&S)
7. No permanent structure may be constructed over any existing private and/or public utility easements. The applicant shall identify all existing easements on plans submitted for approval. (T&ES)
8. Rules and regulation signs and/or kiosks will be installed in Terrace Park, as appropriate. (RP&CA)
9. Provide mile markers every tenth of a mile throughout the open space (Central Park blocks, Paseo, and Terrace Park). (RP&CA)

10. Within 90 days of City Council approval (by December 15, 2023), provide these revisions to the Comprehensive Sign Plan:
 - a. Remove the reference to “Below 25 FT” from the Signage Square Footage Allocation Tables.
 - b. Add a note to the Signage Square Footage Allocation Table sheet stating, “If Blocks L or M develop with townhouses or stacked townhouses, then each block will only be allowed to install one monument sign, or similar to the satisfaction of the Directors of P&Z and T&ES, at each entrance to the block.”
 - c. Remove the sentence “Building top signs mounted above 25’ will not count towards an individual block’s maximum allowable square footage” for B1 00 Building Top/Façade Signage.
 - d. Remove references to “static banner elements” for B2 00 Parking Garage Façade Signage. These sign types may not include banners.
 - e. Remove references to F1 00 Parking Structure Digital Marquee. This sign type is not permitted.
 - f. Add a note to A4 00 Community Entrance Identification Icon in the location section to state “No more than one sign may be along Duke Street and no more than one sign may be along N Van Dorn Street.”
 - g. Revise the A5 00 Community Entrance Tenant Identification Monument details to limit the quantity to up to two signs, with no more than one on Duke Street and one on N Van Dorn Street; restrict the height to no taller than 20-ft.; and add a statement that each sign must be removed and not replaced no later than 10 years after installation of the sign.

CITY DEPARTMENT CODE COMMENTS

Legend: C - code requirement R - recommendation F - finding

A. Archaeology:

- F-1 According to an 1865 map, a small farmstead was in the center of the property, belonging to the Fitzhugh family, and it may have dated back to the early nineteenth century. By 1878 the Edwin Fitzhugh family occupied the farm and by 1894 a C. Ashby owned the property which consisted of 131.5 acres. Although a farmstead once occupied the property, due to the level of development of the subject property, the likelihood that intact archaeological remains are present is low.
- F-2 A professional archaeological consultant or qualified historian, in consultation with Staff, shall write text and graphically design the historical interpretive signage using a template provided by the Office of Historic Alexandria (OHA) (or an alternative template as

approved by OHA). Alternatively, the applicant may opt to have the Office of Historic Alexandria write, design, fabricate, and install the interpretive signage for a fixed fee of \$7,500 per sign. If a consultant does the work, they must provide text and graphics for the interpretive signage to the Office of Historic Alexandria/Alexandria Archaeology for review.

B. Transportation & Environmental Services:

R-1 Final location of freestanding signs to be reviewed and approved by T&ES. The location of signs shall be shown on a Site Plan to determine required vision clearance, no obstruction to site distances and no impediments to easements or other encumbrances.

C. Code Enforcement:

C-1 Permits are required for the installation of the proposed signs.



APPLICATION SPECIAL USE PERMIT

SPECIAL USE PERMIT #2023-00011

PROPERTY LOCATION: 5801 Duke Street

TAX MAP REFERENCE: 047.02-03-11

ZONE: CDD #29

APPLICANT:

Name: Landmark Land Holdings LLC

Address: 12435 Park Potomac Ave. Suite 200, Potomac, MD 20854

PROPOSED USE: Coordinated Sign Plan for West End Blocks D, E/G, F, I, H, J, K, L1, L2, M, N, Q, R, P and S

- THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Kenneth W. Wire, Wire Gill LLP

Print Name of Applicant or Agent

700 N. Fairfax Street, Suite 600

Mailing/Street Address

Alexandria, VA 22314

City and State

Zip Code

Signature

April 20, 2023

Date

703-677-3129

Telephone #

Fax #

kwire@wiregill.com

Email address

PROPERTY OWNER'S AUTHORIZATION

As the property owner of 5801 Duke Street, I hereby
(Property Address)
grant the applicant authorization to apply for the special use permit use as
(use)
described in this application.

Name: Jay Kelly

Phone: 240-499-9600

Please Print

Address: 12435 Park Potomac Avenue, Potomac, MD 20854

Email: jkelly@foulgerpratt.com

Signature: 
Jay Kelly (Aug 24, 2022 09:54 EDT)

Date: 2/1/2023

1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

Required floor plan and plot/site plan attached.

Requesting a waiver. See attached written request.

2. The applicant is the (check one):

Owner

Contract Purchaser

Lessee or

Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. See attached disclosure form and attachment.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. See attached.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 5801 Duke Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. See attached.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here.](#)

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. See attached.	None	None
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

April 20, 2023

Kenneth W. Wire, Wire Gill LLP



Date

Printed Name

Signature

West End Block K
Development Special Use Permit
Disclosure Attachment

Applicant and Owner:

Landmark Land Holdings LLC
12435 Park Potomac Ave.
Suite 200
Potomac, MD 20854

The following individuals own more than a 3% interest in the Applicant/Owner entity:

Bryan F. Foulger
Clayton F. Foulger
Brent K. Pratt

Entities with Ownership interest in Applicant and Owner:

- 1) Foulger-Pratt
12435 Park Potomac Ave.
Suite 200
Potomac, MD 20854

- 2) Landmark Mall LLC
Landmark Mall LLC is wholly owned by the Howard Research and Development Corporation. The Howard Research and Development Corporation is wholly owned by Howard Hughes Corporation, a publicly traded corporation listed on the New York Stock Exchange.

- 3) Seritage SRC Finance LLC
Seritage SRC Finance LLC is wholly owned by Seritage SRC Mezzanine Finance LLC. Seritage SRC Mezzanine Finance LLC is wholly owned by Seritage Growth Properties, L. P. which is a publicly traded real estate investment trust company traded on the New York Stock Exchange.

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

Yes. Provide proof of current City business license

No. The agent shall obtain a business license prior to filing application, if required by the City Code.

NARRATIVE DESCRIPTION

3. The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

Please see enclosed Coordinated Sign Plan ("CSP") for Blocks D, E/G, F, I, H, J, K, L1, L2, M, N, Q, R, P and S for the WestEnd development The enclosed CSP includes Building, Retail, Site and Park & Trail signs. The CSP is comprehensive and detailed, and will provide wayfinding, identity and continuity throughout WestEnd for residents and patrons. CDD Condition #120 requires a CSP including wayfinding for the entire development be provided prior to the release of the first FSP. The Applicant is in the process of filing FSPs for the first phase of the WestEnd, which was approved by City Council in December 2022. The Hospital Campus signs are not included in the CSP.

USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):

- a new use requiring a special use permit,
 an expansion or change to an existing use without a special use permit,
 an expansion or change to an existing use with a special use permit,
 other. Please describe: Coordinated Sign Plan

5. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect?

Specify time period (i.e., day, hour, or shift).

CSP will support overall WestEnd development. See approved CDD #29 for approved density and uses.

B. How many employees, staff and other personnel do you expect?

Specify time period (i.e., day, hour, or shift).

See approved CDD #29 for approved density and uses.

6. Please describe the proposed hours and days of operation of the proposed use:

Day:

7 days per week

Hours:

24 hours per day

7. Please describe any potential noise emanating from the proposed use.

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

N/A for proposed signs

B. How will the noise be controlled?

N/A for proposed signs

8. Describe any potential odors emanating from the proposed use and plans to control them:
N/A for proposed signs

9. Please provide information regarding trash and litter generated by the use.

A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)
N/A for proposed signs

B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)
N/A for proposed signs

C. How often will trash be collected?
N/A for proposed signs

D. How will you prevent littering on the property, streets and nearby properties?
N/A for proposed signs

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:

11. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:
N/A for proposed signs

12. What methods are proposed to ensure the safety of nearby residents, employees and patrons?
Building and property management, lighting, building security and secured access

ALCOHOL SALES

13. A. Will the proposed use include the sale of beer, wine, or mixed drinks?

Yes No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.
N/A

PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

N/A Standard spaces
_____ Compact spaces
_____ Handicapped accessible spaces.
_____ Other.

Planning and Zoning Staff Only
Required number of spaces for use per Zoning Ordinance Section 8-200A _____
Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No

- B. Where is required parking located? (*check one*)
 on-site *Please see approved CDD& DSUPs*
 off-site

If the required parking will be located off-site, where will it be located?

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

Parking reduction requested; see attached supplemental form

15. Please provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are available for the use? N/A

Planning and Zoning Staff Only
Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____
Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No

B. Where are off-street loading facilities located? N/A

C. During what hours of the day do you expect loading/unloading operations to occur?
N/A

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?
N/A

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Street access to property was approved pursuant to CDD #29

SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? Yes No

Do you propose to construct an addition to the building? Yes No

How large will the addition be? _____ square feet.

18. What will the total area occupied by the proposed use be? *Please see approved CDD & DSUPs*

_____ sq. ft. (existing) + _____ sq. ft. (addition if any) = _____ sq. ft. (total)

19. The proposed use is located in: (*check one*)

a stand alone building

a house located in a residential zone

a warehouse

a shopping center. Please provide name of the center: _____

an office building. Please provide name of the building: _____

other. Please describe: Signs

End of Application



Department of Planning & Zoning Special Use Permit Application Checklist

Supplemental application for the following uses:

- Automobile Oriented
- Parking Reduction
- Signs
- Substandard Lot
- Lot modifications requested with SUP use

Interior Floor Plan

- Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

If Applicable

- Plan for outdoor uses

Contextual site image

- Show subject site, on-site parking area, surrounding buildings, cross streets



APPLICATION - SUPPLEMENTAL

SIGNS

1. How many signs exist on the property?

None

2. Please provide the size of each existing sign(s), including, length, width and square footage of the sign face, and the height of the sign above grade.

N/A

3. Provide the length of frontage for every street that the subject property touches.

Please see Section 1 page 2 of the enclosed CSP

4. How many businesses are located on the property?

None

5. How many signs are proposed?

Please see Section 1 page 4 of the enclosed CSP

6. Provide the size of each proposed sign(s), including, length, width and square footage of the sign face, and the height of the sign above grade.

Please see enclosed CSP. The Applicant requests a base sign area of 1.5 SF of sign area and 2 SF per linear foot of building frontage for exceptional design.

7. How will the sign(s) be illuminated?

Please see enclosed CSP Sections 2, 3, 4 and 5 for illumination for each sign type.

Attach a sign image drawn to scale of the sign you propose. Include color and placement on the building or site.



DOCKET ITEM #7

Special Use Permit #2009-0021

5150-5184, 5200-5228, 5230-5258 Eisenhower Ave

Application	General Data	
Request: Consideration of a request for an amendment to extend the deadline for City Council review and to change ownership of an umbrella SUP	Planning Commission Hearing:	June 2, 2009
	City Council Hearing:	June 13, 2009
Address: 5150-5184, 5200-5228, 5230-5258 Eisenhower Avenue	Zone:	OCM(100)/Office Commercial Medium(100) and OCH/Office Commercial Hotel
Applicant: Velsor Properties, LLC	Small Area Plan:	Landmark/Van Dorn

Staff Recommendation: APPROVAL subject to compliance with all applicable codes and ordinances and the recommended permit conditions found in Section III of this report.

Staff Reviewers: Nathan Randall nathan.randall@alexandriava.gov

CITY COUNCIL ACTION, JUNE 13, 2009: City Council approved the Planning Commission recommendation, and directed staff to modify the applications as appropriate to conform with the policy adopted by City Council on June 9, 2009 and noted in the June 11, 2009 memorandum.

PLANNING COMMISSION ACTION, JUNE 2, 2009: By unanimous consent, the Planning Commission recommended approval of the request, subject to compliance with all applicable codes, ordinances and staff recommendations.

Reason: The Planning Commission agreed with the staff analysis.



KEY MAP



SUP #2009-0021

06/02/09



I. DISCUSSION

REQUEST

The applicant, Velsor Properties, LLC, requests a special use permit amendment to extend the deadline for a City Council review and to change ownership of an existing umbrella SUP for the property located at 5150, 5200 and 5230 Eisenhower Ave.

SITE DESCRIPTION

The subject site comprises two lots of record. The first, 5150 Eisenhower Avenue, has 360 feet of frontage on Eisenhower Avenue, an average depth of 600 feet and a total lot area of 194,320 square feet (4.46 acres.) The site is developed with a one-story industrial/flex building of 82,355 square feet. The second lot, 5200/5230 Eisenhower Avenue, has 367 feet of frontage on Eisenhower Avenue, an average depth of 570 feet and a total lot area of 210,076 square feet (4.82 acres.) The site is developed with two one-story industrial/flex buildings totaling 120,731 square feet. The total square footage of the three buildings on site is 203,274.



The surrounding area is occupied by a mix of industrial, residential, and commercial office uses. To the north are the Covanta waste-to-energy plant, parking lots, and an office building. To the south are railroad and Metro tracks. To the east are residential apartments, known as The Reserve at Eisenhower, and to the west is another industrial flex space center.



BACKGROUND

Uses allowed under the umbrella special use permit are derived from three mechanisms: noncomplying uses that have existed since prior to June, 1992, I/Industrial zone uses, and OCH/Office Commercial High special uses.

Based on occupancy as of June 24, 1992, the following noncomplying uses are permitted to continue to occupy the following amount of space in the Center, by zone, without a special use permit:



OCM(100)	
Storage	22,940 sq. ft.
Manufacturing and assembly	13,695 sq. ft.
OCH	
Storage	18,000 sq. ft.
Research and testing	6,644 sq. ft.
Manufacturing and assembly	90,400 sq. ft.
Printing	<u>6,000 sq. ft.</u>
Total Area	157,679 sq. ft.

In addition to the right to the specific uses above, the existence of noncomplying uses also carries with it the right to change those uses to other ones pursuant to Section 12-302(B)(2) of the Zoning Ordinance. This provision states that a noncomplying use may be changed, with a special use permit, to any use allowed in the zone in which such noncomplying use is first listed in the ordinance.

The relevant noncomplying uses first appear in the Zoning Ordinance in the I/Industrial zone. Therefore, under the above provision, the applicant may apply for any use in the I/Industrial zone with a special use permit, at least for 157,679 square feet of space.

Finally, under the current OCM(100) and OCH zone, the applicant has available to it certain uses with approval of a special use permit.

On February 24, 1996, City Council granted SUP#95-0180 as an umbrella Special Use Permit to allow a variety of uses without separate special use permit approval for each one. Neither the applicant nor tenants are required to apply for a Special Use Permit each time an individual tenant space is filled with a new use listed in Condition #2 of this report. At the time of approval, a condition was placed in the umbrella Special Use Permit requiring City Council review in 10 years (February 2006.)

The applicant applied in 2003 for a 20-year extension of the City Council review period arguing that with greater certainty it would be able to sign long-term leases with prospective tenants. On March 13, 2004, City Council granted Special Use Permit #2003-0124 for an extension of the City Council review condition for 15 years.

On May 12, 2009 staff visited the subject property to determine if the business was in compliance with the conditions of its special use permit. Staff found no violations of the special use permit.

PROPOSAL

The applicant proposes to change ownership of the umbrella SUP and to amend Condition #8 to extend the scheduled City Council review date for the umbrella SUP to March 2024, which is five years beyond the previously-approved City Council review date of March 2019. The intent behind the requested extension of the deadline for the review period is for financing purposes for the proposed new owner of the property. No other changes to the umbrella SUP are proposed.

PARKING

Parking for the three buildings was approved per Site Plan #71-037, Site Plan #72-015 and Site Plan #74-013, which required a total of 117 parking spaces. There are at least 237 parking spaces at the site.

ZONING/MASTER PLAN DESIGNATION

The subject property is zoned OCM(100) and OCH. The proposed uses are consistent with the Landmark/Van Dorn Small Area Plan chapter of the Master Plan which designates the property OCM(100) and OCH, or are noncomplying.

II. STAFF ANALYSIS

Staff does not object to the applicant's request to change ownership or to amend Condition #8 to add five years to the deadline for the City Council review of this umbrella SUP. With the amendment, City Council will be required to review the permit in 2024 instead of in 2019.

The umbrella SUP was originally approved with a limited life because it is located on the western portion of Eisenhower Avenue, an area occupied by many industrial and service uses, but one that many hope will redevelop differently in the future. Each amendment of the SUP has extended the time period but retained a limitation. The area is already zoned for dense commercial office development, with residential uses as a special use. Further, the City is studying the potential for the area to be redeveloped for mixed use development, to bring economic development to the area generally, as an extension of the East Eisenhower development activity and in order to support the Van Dorn Metro. On the other hand, the preliminary findings of the Eisenhower West Industrial Land Use Study, presented at a public meeting on May 13, 2009, demonstrate that large-scale redevelopment is unlikely to occur in this area during the next 15 years, for economic reasons. This conclusion is based on several factors including the large cost of moving and removing existing industrial uses and the fact that other nearby areas, such as Potomac Yard and Carlyle/Eisenhower East, are available for redevelopment now.

Although the redevelopment may be only a long term prospect, it is still the goal of the City and the community. It is for that reason that the unusual step of including a limited term was originally imposed, and is still maintained for this umbrella SUP. The current request, to extend the period for an additional five years, until 2024, is sought by the applicant, who is the proposed

new purchaser of the property, in order to provide it with the greater certainty it needs in order to pursue acceptable mortgage terms. In addition, the applicant has discussed its interest in being the eventual redeveloper of the property which, according to the applicant, may occur prior to the new review date.

In terms of compatibility, staff notes that residential apartments are now located directly to the east of the 5150 Eisenhower property. That development was approved with a special use permit, and with the understanding that the subject light industrial, flexspace center would be located next door. Further, much of the greater neighborhood is still largely industrial. Staff finds that the uses allowed under this umbrella SUP are reasonable and appropriate for this neighborhood, both residential and industrial. Staff supports the use of the umbrella SUP in cases such as this one because it allows the owner of an industrial/warehouse building maximum flexibility in leasing its space. Staff also notes that it is not aware of any complaints at the property and that the site appears well-maintained.

In addition to changing Condition #8 regarding City Council review, staff has recommended new standard conditions regarding transit, training and a standard one-year review.

Trash Can, Litter and Street Tree Requirements

The recommended conditions include significant requirements as to landscaping, including new plant material, street trees, and compliance with a prior site plan for part of the property. In addition, the applicant will be required to pay for one new trash can to be installed in sidewalk area. These conditions may change as a result of Council's policy discussion on these issues scheduled for June 9.

Staff concludes that the applicant's requests are reasonable changes it needs to purchase and finance the property and to allow the continued operation of the uses permitted under the umbrella Special Use Permit. Staff recommends approval of the request subject to all applicable codes and ordinances and the conditions contained in Section III of this report.

III. RECOMMENDED CONDITIONS

Staff recommends **approval** subject to compliance with all applicable codes and ordinances and the following conditions:

1. The special use permit shall be granted to the applicant only or to any corporation in which the applicant has a controlling interest. (P&Z) (SUP#95-0180)

2. The following uses are permitted on the subject property:

**Uses permitted through noncomplying use provisions
(section 12-302(b)(2):**

Warehouse and storage
Research and testing
Manufacturing and assembly
Printing and publishing facilities
Carpenter shop and repair services
Building materials storage and sales
Catering operation (in OCH zone)
Retail (in OCH zone)

**Special Uses allowed in
both OCM(100) and OCH*:**

Light automobile repair
Wholesale business
Convenience store
Social service use

**Special Uses allowed
only in OCM(100)*:**

Catering operation
Research and testing

*Staff notes that light automobile repair and catering in OCM(100) may be considered an Administrative Special Use or a Special Use but that in either case the two uses are covered under this umbrella Special Use Permit and a separate Special Use Permit or Administrative Special Use Permit would not be required. (P&Z)

3. No more than 157,679 square feet of building area may be occupied by uses that are only available through the noncomplying use provisions (section 12-302(B)(2)) of the zoning ordinance. (P&Z) (SUP#95-0180)
4. This approval is valid as long as the existing buildings remain unchanged. A "change" of the existing buildings sufficient to invalidate this approval is one that requires a site plan under section 11-403 of the zoning ordinance. (P&Z) (SUP#95-0180)
5. Any motor vehicle repair operation shall comply with the following conditions: (P&Z) (SUP#95-0180)
- A. All vehicles stored on the property shall be parked in a neat and orderly fashion at all times.

- B. All repair work shall be done inside the building and none shall be done outside.
 - C. No vehicle parts, tires, or other materials shall be permitted to accumulate outside except in a dumpster or other suitable trash receptacle or enclosure.
 - D. No vehicles shall be displayed, parked, or stored on a public right-of-way.
 - E. The area around the garage shall be kept free of debris and maintained in an orderly and clean condition.
 - F. No vehicles shall be loaded or unloaded on the public right-of-way.
 - G. No debris or vehicle parts shall be discarded on the public right-of-way.
 - H. No amplified sound shall be audible at the property line.
6. Any convenience store operation shall comply with the following conditions:
- A. No quantity of beer smaller than a six-pack and no fortified wines (any wines with alcohol content of 14 percent or greater) shall be sold.
 - B. The hours of operation shall be limited to between 6:00 A.M. and 11:00 P.M. (P&Z) (SUP#95-0180)
7. No single tenant may occupy more than 25% of the total floor area of the subject building space, or 50,819 square feet, for one of the above uses except warehouse and storage. (P&Z)
8. This special use permit shall be reviewed by City Council in March 2024. (P&Z)
9. Kitchen equipment shall not be cleaned outside, nor shall any cooking residue be washed into the streets, alleys or storm sewers. (T&ES) (SUP#2003-0124)
10. The applicant shall control cooking odors, smoke and any other air pollution from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Department of Transportation & Environmental Services. (T&ES) (SUP#2003-0124)
11. Loudspeakers shall be prohibited from the exterior of the building, and no amplified sounds shall be audible at the property line. (T&ES) (SUP#2003-0124)
12. All waste products including, but not limited to organic compounds (solvents), motor oil, compressor lubricant and antifreeze shall be disposed of in accordance with all local, state and federal ordinances or regulations and not be discharged to the sanitary or storm sewers, or be discharged onto the ground. (T&ES) (SUP#2003-0124)

13. The applicant shall comply with the City of Alexandria Best Management Practices Manual for Automotive Related Industries. A copy can be obtained by contacting the Division of Environmental Quality on 703/519-3400, extension 166. (T&ES) (SUP#2003-0124)
14. No paint or coatings shall be applied outside of a paint spray booth and no material shall be disposed of by venting into the atmosphere. (T&ES) (SUP#2003-0124)
15. The applicant shall require businesses whose employees drive to use off-street parking and provide employees who use mass transit with subsidized bus and rail fare media. The applicant shall require businesses to also post DASH and Metrobus schedules on-site for employees. (P&Z) (T&ES)
16. Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)
17. The applicant shall provide storage space for solid waste and recyclable materials containers as outlined in the City's "*Solid Waste and Recyclable Materials Storage Space Guidelines*", or to the satisfaction of the Director of Transportation & Environmental Services. The City's storage space guidelines and required Recycling Implementation Plan forms are available at: www.alexandriava.gov or contact the City's Solid Waste Division at 703-519-3486 ext.132. (T&ES)
18. Litter on the site and on public rights-of-way and spaces adjacent to or within 75 feet of the premises shall be picked up at least twice a day and at the close of business, and more often if necessary, to prevent an unsightly or unsanitary accumulation, on each day that the business is open to the public. (T&ES)
19. Condition deleted. (City Council)
20. The applicant shall replace dead and missing plantings, including street trees, consistent with the approved Landscape Plan for 5150 Eisenhower Ave., dated July 11, 1974. Work shall be completed within 6 months of City Council approval, to the satisfaction of the Directors of RP&CA and P&Z. (RP&CA)
21. Condition deleted. (City Council)
22. Existing plantings shall be well maintained and be free of weeds, debris, and litter at all times. (RP&CA)
23. The Director of Planning and Zoning shall review the special use permit after it has been operational for one year, and shall docket the matter for consideration by the Planning Commission and City Council if (a) there have been documented violations of the permit conditions which were not corrected immediately, constitute repeat violations or which create a direct and immediate adverse zoning impact on the surrounding community; (b)

the director has received a request from any person to docket the permit for review as the result of a complaint that rises to the level of a violation of the permit conditions, (c) the director has determined that there are problems with the operation of the use and that new or revised conditions are needed. (P&Z)

STAFF: Gwen Wright, Division Chief, Department of Planning and Zoning;
Nathan Randall, Urban Planner.

Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

- R-1 Kitchen equipment shall not be cleaned outside, nor shall any cooking residue be washed into the streets, alleys or storm sewers. (T&ES)
- R-2 The applicant shall control cooking odors, smoke and any other air pollution from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Department of Transportation & Environmental Services. (T&ES)
- R-3 All loudspeakers shall be prohibited from the exterior of the building, and no amplified sounds shall be audible at the property line.(T&ES)
- R-4 Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)
- R-5 All waste products including, but not limited to organic compounds (solvents), motor oil, compressor lubricant and antifreeze shall be disposed of in accordance with all local, state and federal ordinances or regulations and not be discharged to the sanitary or storm sewers, or be discharged onto the ground. (T&ES)
- R-6 The applicant shall comply with the City of Alexandria Best Management Practices Manual for Automotive Related Industries. A copy can be obtained by contacting the Office of Environmental Quality on 703-519-3400, extension 166. (T&ES)
- R-7 All repairs of motor vehicles shall be conducted inside a building or structure that is approved by the Director of Planning and Zoning. (T&ES)
- R-8 No paint or coatings shall be applied outside of a paint spray booth and no material shall be disposed of by venting into the atmosphere. (T&ES)
- R-9 The applicant shall provide storage space for solid waste and recyclable materials containers as outlined in the City's "*Solid Waste and Recyclable Materials Storage Space Guidelines*", or to the satisfaction of the Director of Transportation & Environmental Services. The City's storage space guidelines and required Recycling Implementation Plan forms are available at: www.alexandriava.gov or contact the City's Solid Waste Division at 703-519-3486 ext.132. (T&ES)
- R-10 Litter on the site and on public rights-of-way and spaces adjacent to or within 75 feet of the premises shall be picked up at least twice a day and at the close of

business, and more often if necessary, to prevent an unsightly or unsanitary accumulation, on each day that the business is open to the public. (T&ES)

- R-11 Applicant shall provide the City \$1150.00 for one Model SD-42 Bethesda Series litter receptacle for installation on the adjacent public right-of-way (monetary contribution to be submitted to the Department of T&ES, Engineering Division, Room 4130, 301 King Street within 60-days of approval). Contact T&ES Solid Waste Division (703/751-5130) regarding information on ordering and installation. (T&ES)
- R-12 The applicant shall require businesses whose employees drive to use off-street parking and provide employees who use mass transit with subsidized bus and rail fare media. The applicant shall require businesses to also post DASH and Metrobus schedules on-site for employees. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99).
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

Code Enforcement:

- F-1 No Comment

Health Department:

- F-1 No Comment

Parks and Recreation:

- R-1 The applicant shall replace dead and missing plantings, including street trees, consistent with the approved Landscape Plan for 5150 Eisenhower Ave., dated July 11, 1974. Work shall be completed within 6 months of City Council approval, to the satisfaction of the Directors of RP&CA and P&Z. (RP&CA)
- R-2 The applicant shall replace (2) street trees along the 5200 Eisenhower Ave. property frontage. Work shall be completed within 6 months of City Council approval, to the satisfaction of the Directors of RP&CA and P&Z. (RP&CA)
- R-3 Existing plantings shall be well maintained and be free of weeds, debris, and litter at all times. (RP&CA)

- F-1 The property at 5150 Eisenhower Ave. has an approved Landscape Plan dated July 11, 1974. The plan is available from T&ES. (RP&CA)
- F-2 The applicant is being required to replace dead and missing plantings, including street trees, as depicted on the property's approved Landscape Plan, and (2) street trees in front of 5200 Eisenhower Ave. Therefore, a monetary street tree contribution is not being required. (RP&CA)
- C-1 Property owner shall control weeds along public sidewalks, curb lines and within tree wells which are within 12 feet of the owners front property line. (City Ord. No. 2698, 6/12/82, Sec. 2; Ord. No. 2878, 11/12/83, Sec. 1)

Police Department:

- F-1 The Police Department has no objections to the special use permit extending for an additional 5 years through March 2024.

**REPORT ATTACHMENTS
AVAILABLE IN THE PLANNING AND ZONING OFFICE**

WESTEND

Alexandria



 FOULGER-PRATT + *Howard Hughes.* + SERITAGE + Gable
GROWTH PROPERTIES

COORDINATED SIGN PROGRAM

June 8, 2023 (r12)

Introduction Narrative
Community Land Use Model

SECTION 1 | Overall Signage Plans

- 01 1 Community Land Use Plan
- 01 2 Signage SF Allocation Table
- 01 3 Phased Community Site Plan
- 01 4 Community Sign Plan - Overall
- 01 5 Community Sign Plan - Block D
- 01 6 Community Sign Plan - Block E1/E2
- 01 7 Community Sign Plan - Block G
- 01 8 Community Sign Plan - Block H
- 01 9 Community Sign Plan - Block I
- 01 10 Community Sign Plan - Block J
- 01 11 Community Sign Plan - Block K
- 01 12 Community Sign Plan - Block L
- 01 13 Community Sign Plan - Block M
- 01 14 Community Sign Plan - Central Park
- 01 15 Community Sign Plan - Block S1
- 01 16 Community Sign Plan - Block S2
- 01 17 Community Sign Plan - Block P1
- 01 18 Community Sign Plan - Block P2

SECTION 2 | Building Signage

- 02 1 Building Top / Facade Signage
- 02 2 Building Top / Facade Signage Exhibit
- 02 3 Parking Garage Tenant - Facade Signage
- 02 4 Major Building Entrance - Facade Signage
- 02 5 Major Building Entrance - Signage Placement
- 02 6 Major Building Entrance - Signtype Examples
- 02 7 Major Building Entrance - Blade Signage
- 02 8 Minor Building Entrance Signage
- 02 9 Parking Structure Digital Marque
- 02 10 Structured Parking Entrance Signage
- 02 11 Loading Dock Entrance Signage
- 02 12 Bus Stop / Transit Hub Signage

SECTION 3 | Retail Signage

- 03 1 Retail Signage General Guidelines
- 03 2 Retail Storefront Sign Type Overview
- 03 3 Retail Storefront Entrance Signage
- 03 4 Retail Storefront Projecting Blade Signage
- 03 5 Retail Storefront Window Graphic

SECTION 4 | Site Signage

- 04 1 Wall Mounted community Identification
- 04 2 Bridge Mounted Community Identification
- 04 3 Community Entrance Identification Icon
- 04 4 Community Entrance Tenant Identification Monument
- 04 5 Vehicular Directional Signage
- 04 6 Digital Pedestrian Wayfinding Directory
- 04 7 Interpretive Wall Mural Graphic
- 04 8 Community Interpretive Signage
- 04 9 Temporary / Seasonal Banner Signage

SECTION 5 | Park & Trail Signage

- 05 1 Park & Trail Pedestrian Directional
- 05 2 Park & Trail Rules & Regulations
- 05 3 Pedestrian Trail Markers

SECTION 6 | Signage Tracking Tables

- 06 1 Signage Tracking Table - Blocks (D & E1)
- 06 2 Signage Tracking Table - Blocks (E2 & F)
- 06 3 Signage Tracking Table - Blocks (G & H)
- 06 4 Signage Tracking Table - Blocks (I & J)
- 06 5 Signage Tracking Table - Blocks (K & L1)
- 06 6 Signage Tracking Table - Blocks (M & N)
- 06 7 Signage Tracking Table - Blocks (P & R)
- 06 8 Signage Tracking Table - Block (S)

WE are Community.

This is the place that brings us together

WestEnd, a place of deep and diverse relationships. We are the gravity that brings together friends, neighbors, families and businesses. Here we aren't creating a new community, but rather providing the social infrastructure for one to thrive. We are a welcoming, inviting, inclusive and ever-evolving; magnetic community in West Alexandria.

WestEnd Alexandria's Coordinated Sign Guidelines establishes a comprehensive signage guideline to facilitate unique and uniform signage throughout the entire WestEnd community. Its purpose is to provide information and procedures for the design, placement, and installation of various types of signs for use throughout the WestEnd community's campus.

This Coordinated Sign Program establishes guidance for the types, sizes and locations of signage throughout the community and establishes a guideline for sign materials, methods, placement, and types of illumination. The Coordinated Sign Program does not identify a blueprint for the design of individual signs or sign elements, rather, it provides flexibility for individual tenants to design creative and unique signage that supports their individual corporate brand, their building architecture and the overall site design, enhancing the visual experience throughout the community.

As the community continues to develop over time, this Coordinated Sign Program will ensure that the design and implementation of signage is an integral part of the neighborhood and reflects the design excellence of the overall community.





LAND USE LEGEND BY BLOCK:

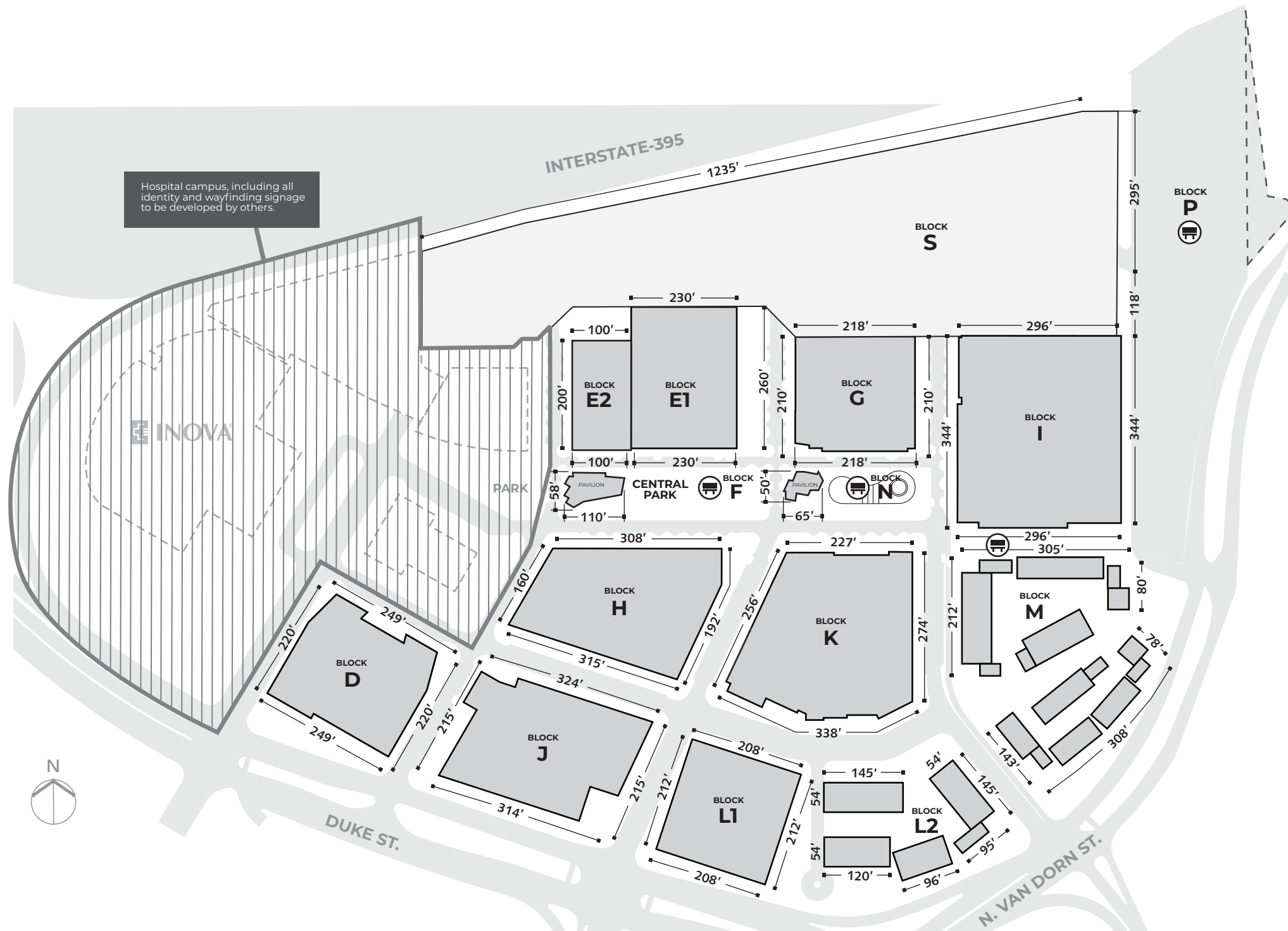
- Hospital Blocks A, B, & C
- Community Block E2
- Community Block D
- Community Blocks E1, G & I
- Community Block H
- Community Block J
- Community Block K
- Community Block L1
- Community Block L2
- Community Block M
- Community Block P
- Community Block S

SECTION 01 Overall Community Signage Plans

- 01 1 Community Land Use Plan
- 01 2 Signage SF Allocation Table
- 01 3 Phased Community Site Plan
- 01 4 Community Sign Plan - Overall
- 01 5 Community Sign Plan - Block D
- 01 6 Community Sign Plan - Block E1/E2
- 01 7 Community Sign Plan - Block G
- 01 8 Community Sign Plan - Block H
- 01 9 Community Sign Plan - Block I
- 01 10 Community Sign Plan - Block J
- 01 11 Community Sign Plan - Block K
- 01 12 Community Sign Plan - Block L
- 01 13 Community Sign Plan - Block M
- 01 14 Community Sign Plan - Central Park
- 01 15 Community Sign Plan - Block S1
- 01 16 Community Sign Plan - Block S2
- 01 17 Community Sign Plan - Block P1
- 01 18 Community Sign Plan - Block P2



WESTEND ALEXANDRIA COORDINATED SIGN PROGRAM **SIGNAGE SQUARE FOOTAGE ALLOCATION TABLE**



MAX SQUARE FOOTAGE PER BUILDING:

The signage square footage allowance table establishes the maximum potential signage square footage, to include the primary use and ground floor retail, for each individual building.

Allowable signage square footage is based on 1.5 SF per linear foot of frontage. Director of P&Z may approve signage up to 2 SF per linear foot of frontage for exceptional signage design. Signs mounted on Block "S", Parking Garage, Blocks "L2 & M" Single Use will be allowed 1 SF per linear foot of frontage.

ELEVATION	BLOCK (D)				BLOCK E1			
	N	S	E	W	N	S	E	W
FRONTAGE (LF)	249	249	220	220	230	230	260	N/A
BELOW 25 FT TOTAL SF (FRONTAGE LF x1.5)	373.5	373.5	330	330	345	345	390	N/A

ELEVATION	BLOCK E2				BLOCK F			
	N	S	E	W	N	S	E	W
FRONTAGE (LF)	100	100	N/A	200	110	110	58	58
BELOW 25 FT TOTAL SF (FRONTAGE LF x1.5)	150	150	N/A	300	165	165	87	87

ELEVATION	BLOCK G				BLOCK H			
	N	S	E	W	N	S	E	W
FRONTAGE (LF)	218	218	210	210	315	308	192	160
BELOW 25 FT TOTAL SF (FRONTAGE LF x1.5)	327	327	315	315	472.5	462	288	240

ELEVATION	BLOCK I				BLOCK J			
	N	S	E	W	N	S	E	W
FRONTAGE (LF)	296	296	344	344	314	324	215	215
BELOW 25 FT TOTAL SF (FRONTAGE LF x1.5)	444	444	516	516	471	486	322.5	322.5

ELEVATION	BLOCK K				BLOCK L1			
	N	S	E	W	N	S	E	W
FRONTAGE (LF)	338	227	274	256	208	208	212	212
BELOW 25 FT TOTAL SF (FRONTAGE LF x1.5)	507	340.5	411	384	312	312	318	318

ELEVATION	BLOCK L2 (LFx1)				BLOCK M (LFx1)			
	N	S	E	W	N	S	E	W
FRONTAGE (LF)	311	199	145	108	308	305	158	355
BELOW 25 FT TOTAL SF (FRONTAGE LF x1)	311	199	145	108	308	305	158	355

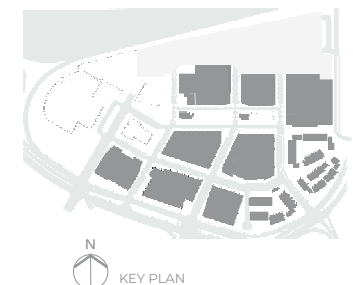
ELEVATION	BLOCK N				BLOCK S (LFx1)			
	N	S	E	W	N	S	E	W
FRONTAGE (LF)	65	65	50	50	N/A	1235	413	N/A
BELOW 25 FT TOTAL SF (FRONTAGE LF x1 or 1.5)	97.5	97.5	75	75	N/A	1235	413	N/A

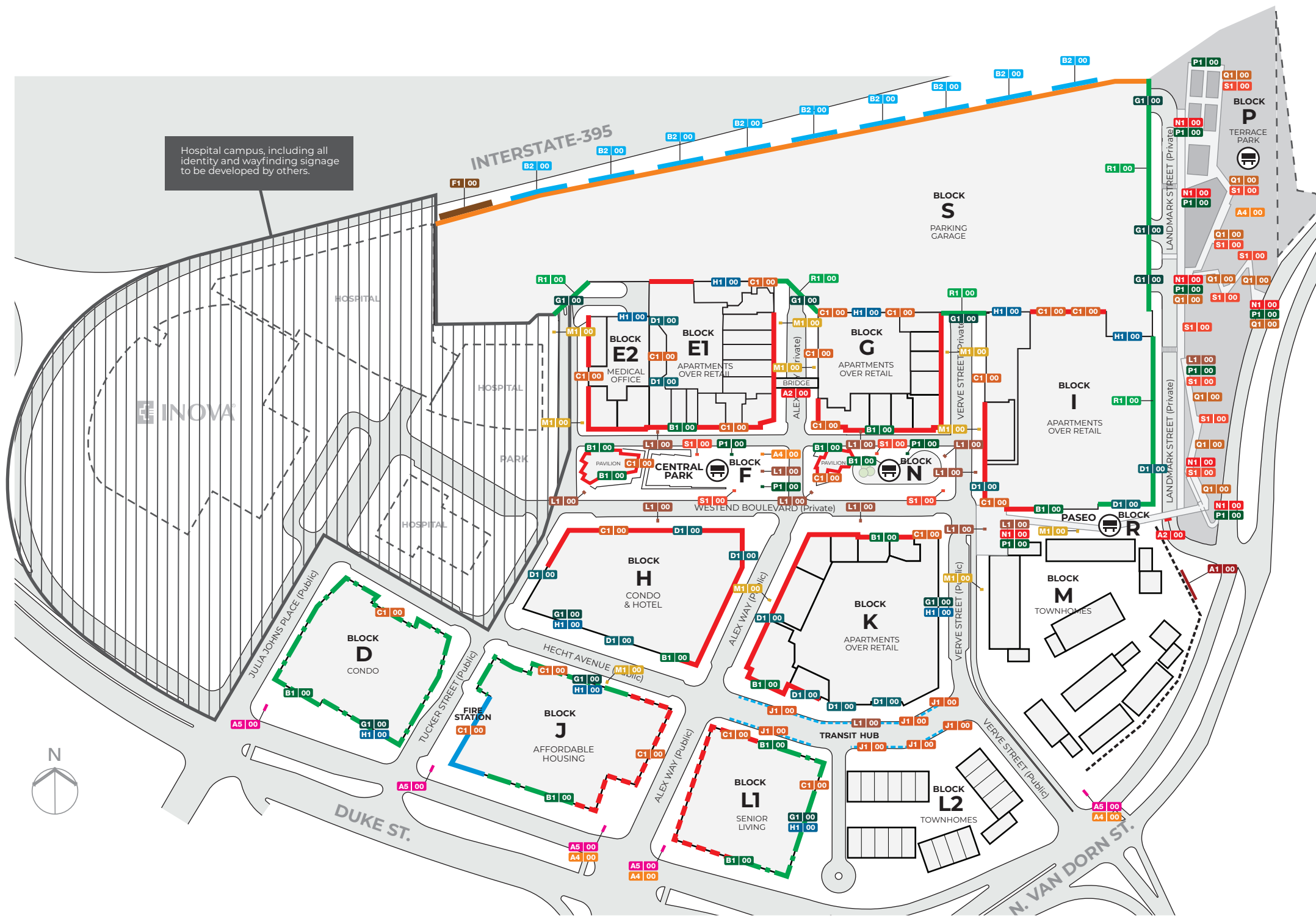


CONSTRUCTION PHASE LEGEND:

- Construction Phase 1
- Construction Phase 2
- Construction Phase 3
- Planned Retail Signage
- Proposed Retail Signage
- Potential Retail Signage
- Transit Hub
- Wall Mural
- Structured Parking Retail
- Parking Structure Digital Marque
- Fire Station
- P Public Parks & Paseo

Note: The coordinated signage plan will focus on Phase 1 of the development. Future development blocks will address signage in accordance with the Coordinated Signage Plan.



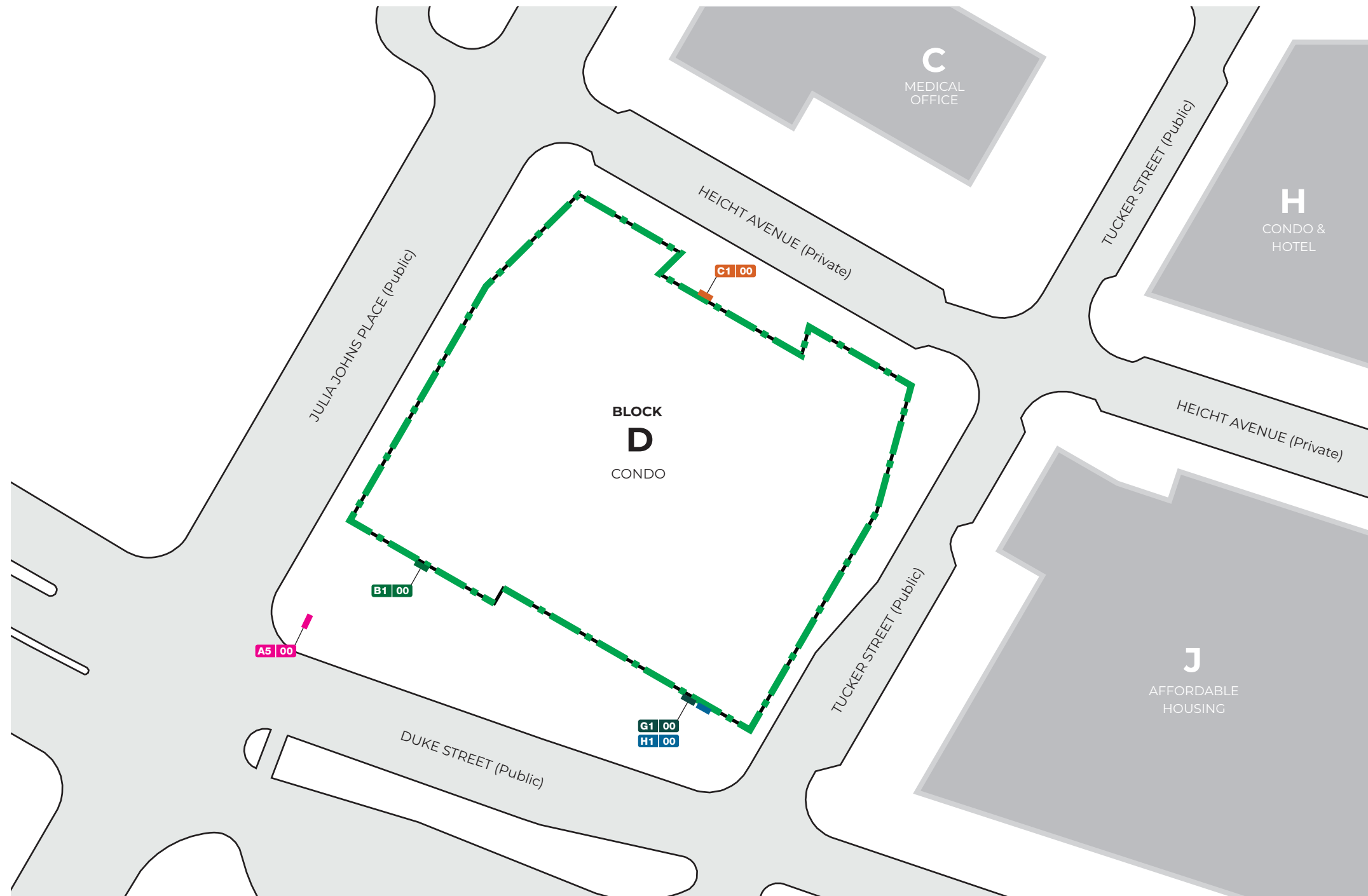


SIGNAGE LEGEND:

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- * **A2 00** Bridge Mounted Community Identification
- * **A3 00** NOT USED
- * **A4 00** Community Entrance Identification Icon
- A5 00** Primary Tenant Entrance Monument
- B1 00** Primary Building Identification
- B2 00** Parking Garage Tenant Identification
- C1 00** Major Building Entrance
- D1 00** Minor Building Entrance
- E1 00** Major Building Entrance Blade
- F1 00** Parking Structure Digital Marquee
- * **G1 00** Building Parking
- * **H1 00** Loading Dock
- * **J1 00** Bus Stop / Transit Hub
- * **L1 00** Pedestrian Digital Directory
- * **M1 00** Pedestrian Pathfinder
- * **N1 00** Park & Trail Pedestrian Directional
- * **P1 00** Park Rules & Regulations
- * **Q1 00** Trail Marker Signage
- * **R1 00** Interpretive Wall Mural
- * **S1 00** Site Interpretive Signage
- Planned Retail Signage** (Red solid line)
- Proposed Retail Signage** (Red dashed line)
- Potential Retail Signage** (Green dashed line)
- Transit Hub** (Blue dashed line)
- Wall Mural** (Green solid line)
- Structured Parking Retail** (Orange solid line)
- Parking Structure Digital Marquee** (Brown solid line)
- Fire Station** (Blue solid line)
- Public Parks & Paseo** (Circle with 'P' icon)

NOTE:
 * = Signs that do not count towards the individual block sign maximum allowances
 All final signage design, scale and mounting locations will be coordinated and approved by Development Team, Landlord and City Officials. Mile markers through Terrace Park will be placed every tenth of a mile to align with emergency services.

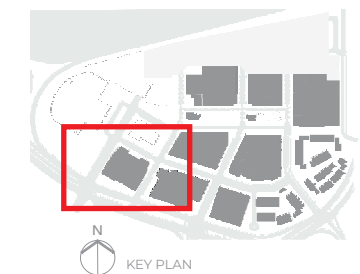
Signs for interim conditions will be consistent with the proposed permanent signage in terms of style, instillation, and placement.

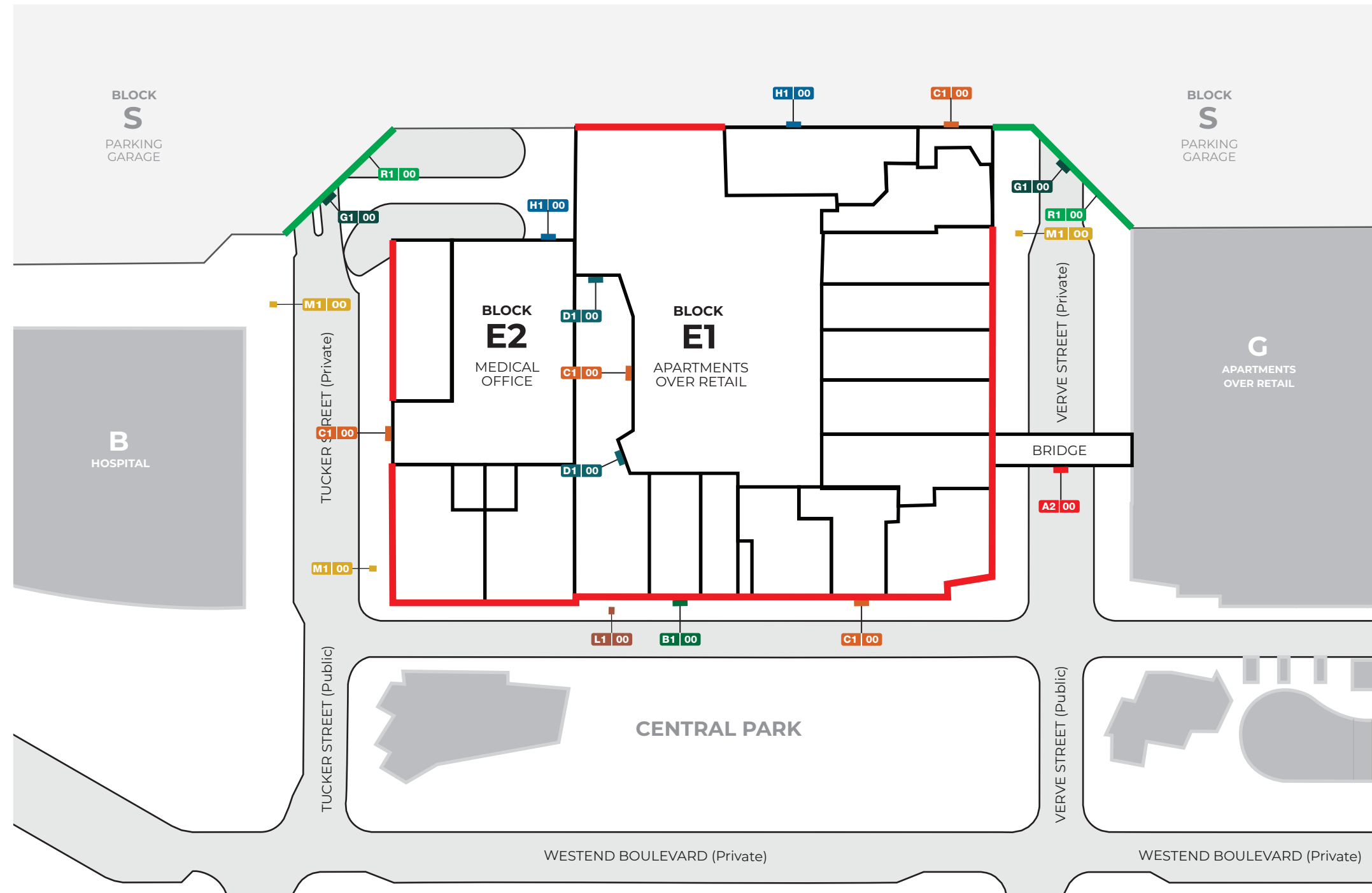


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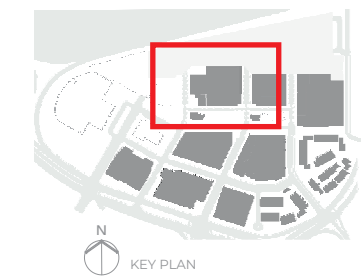
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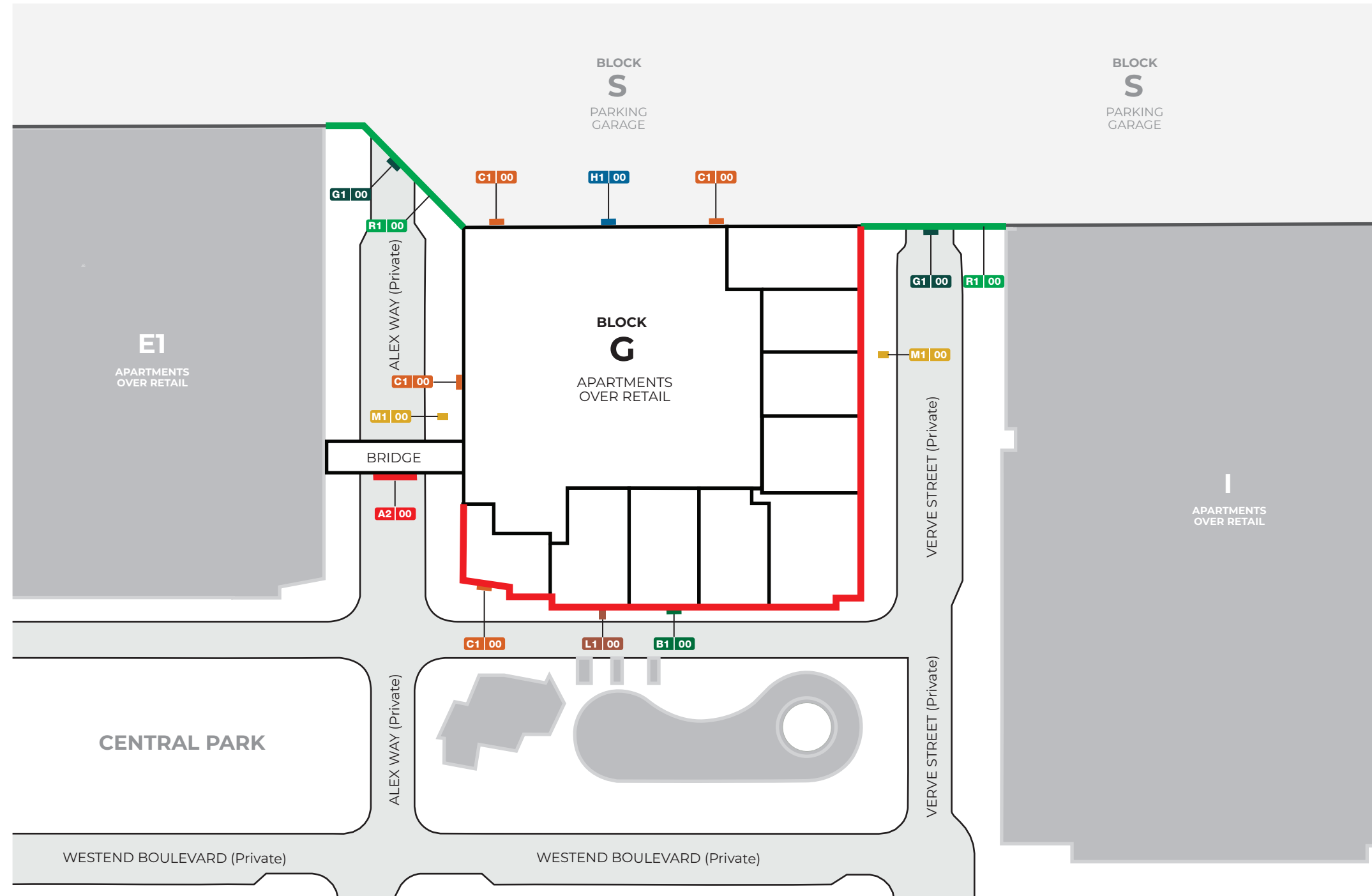




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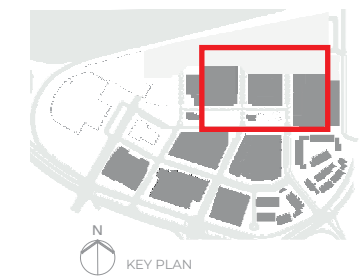
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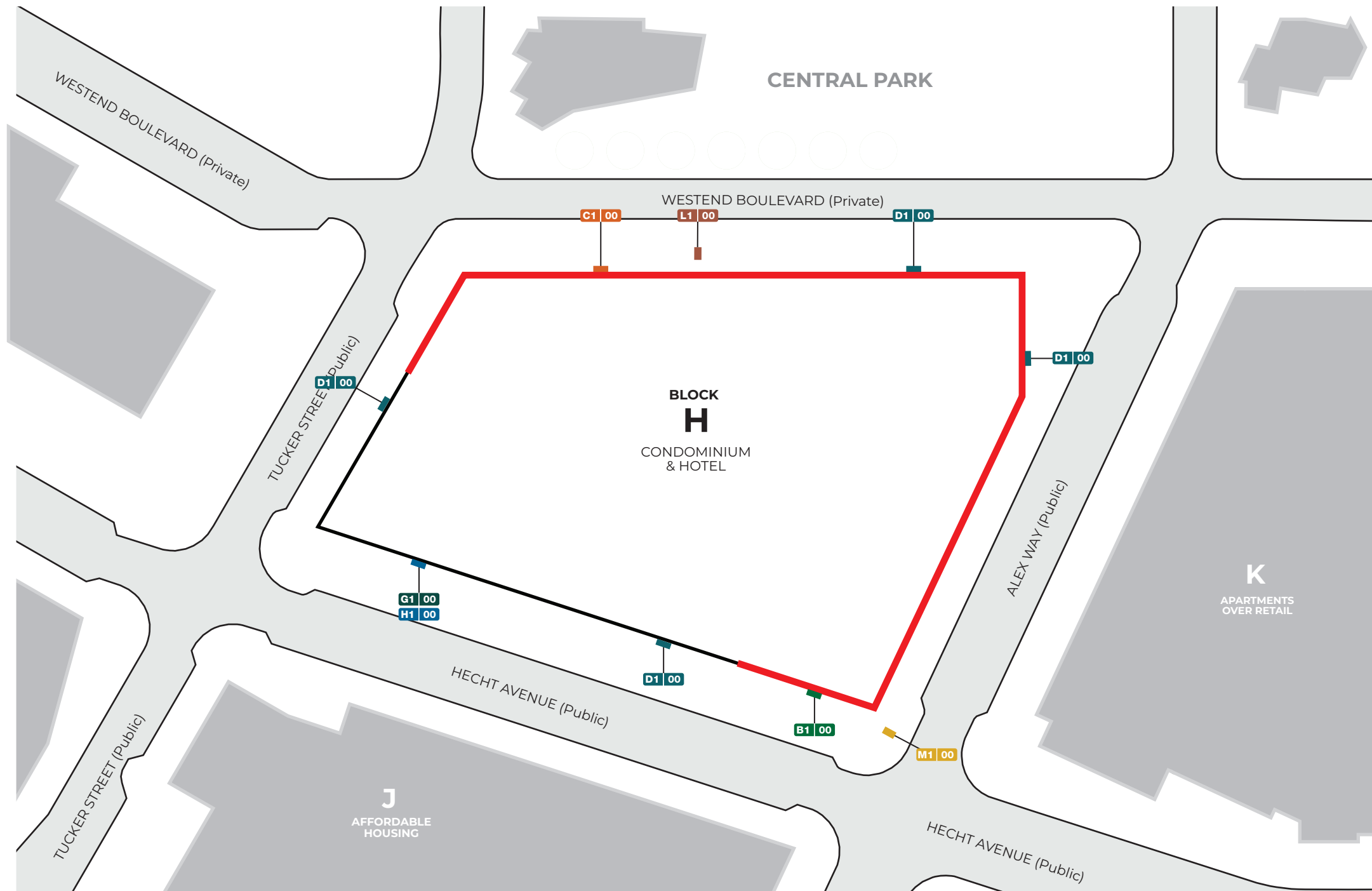




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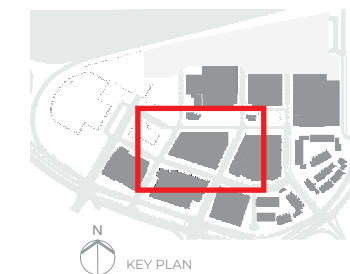


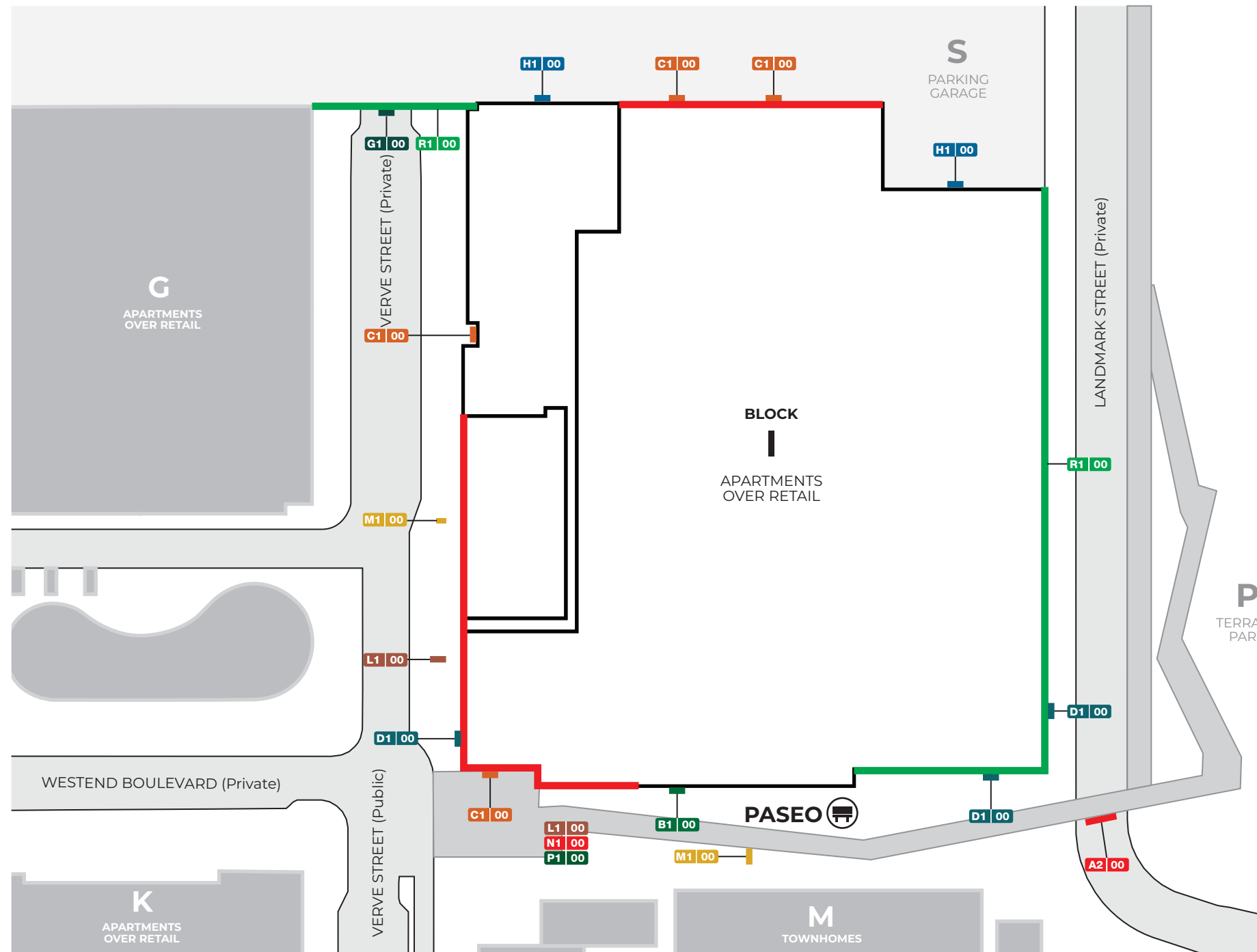


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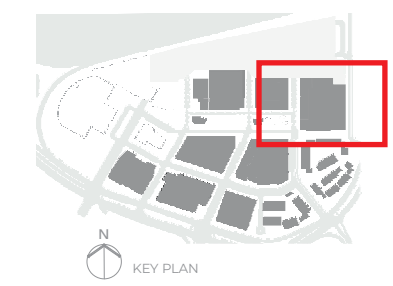
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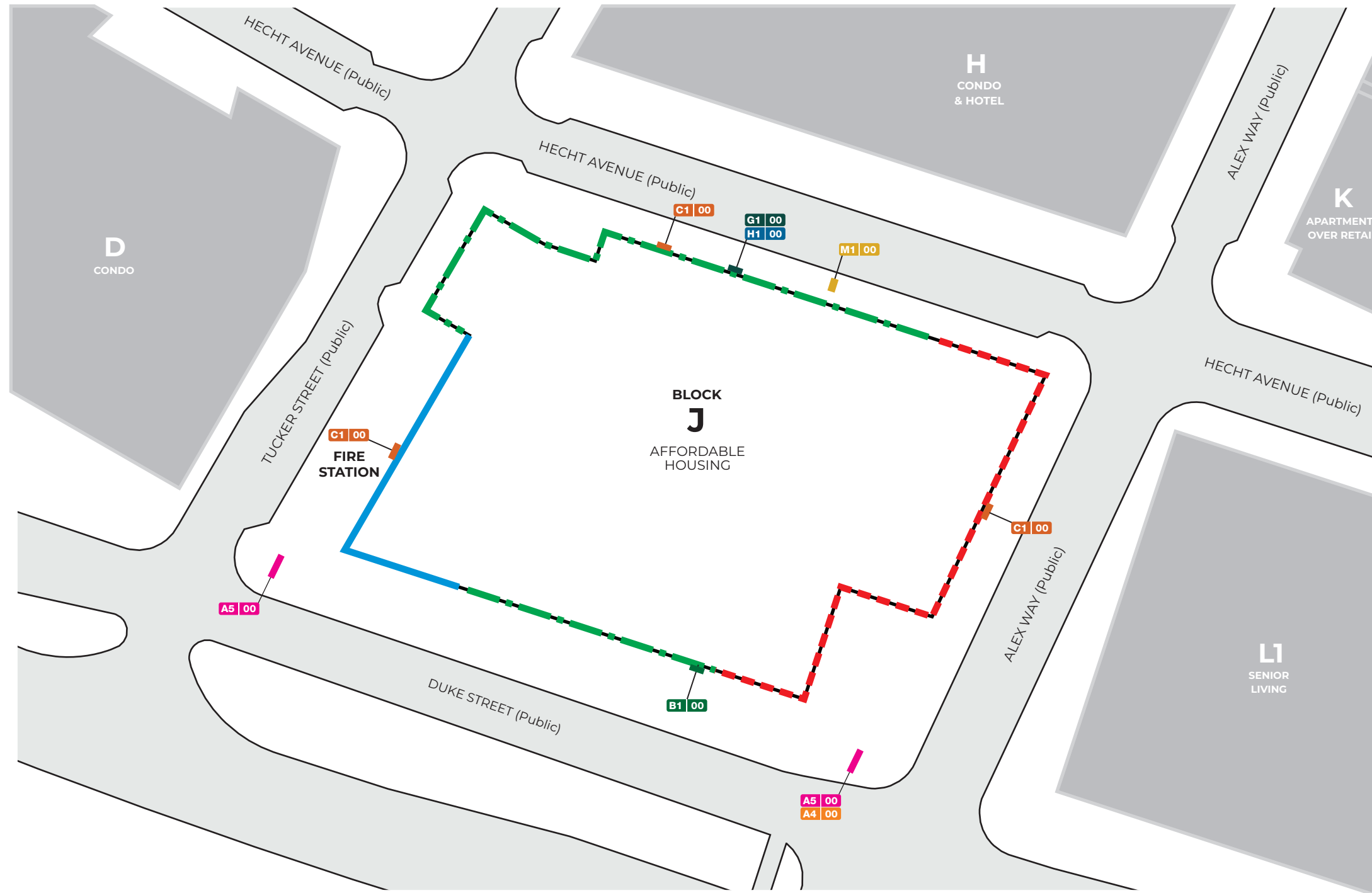




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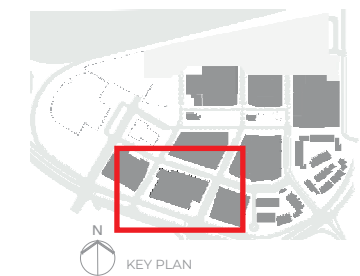
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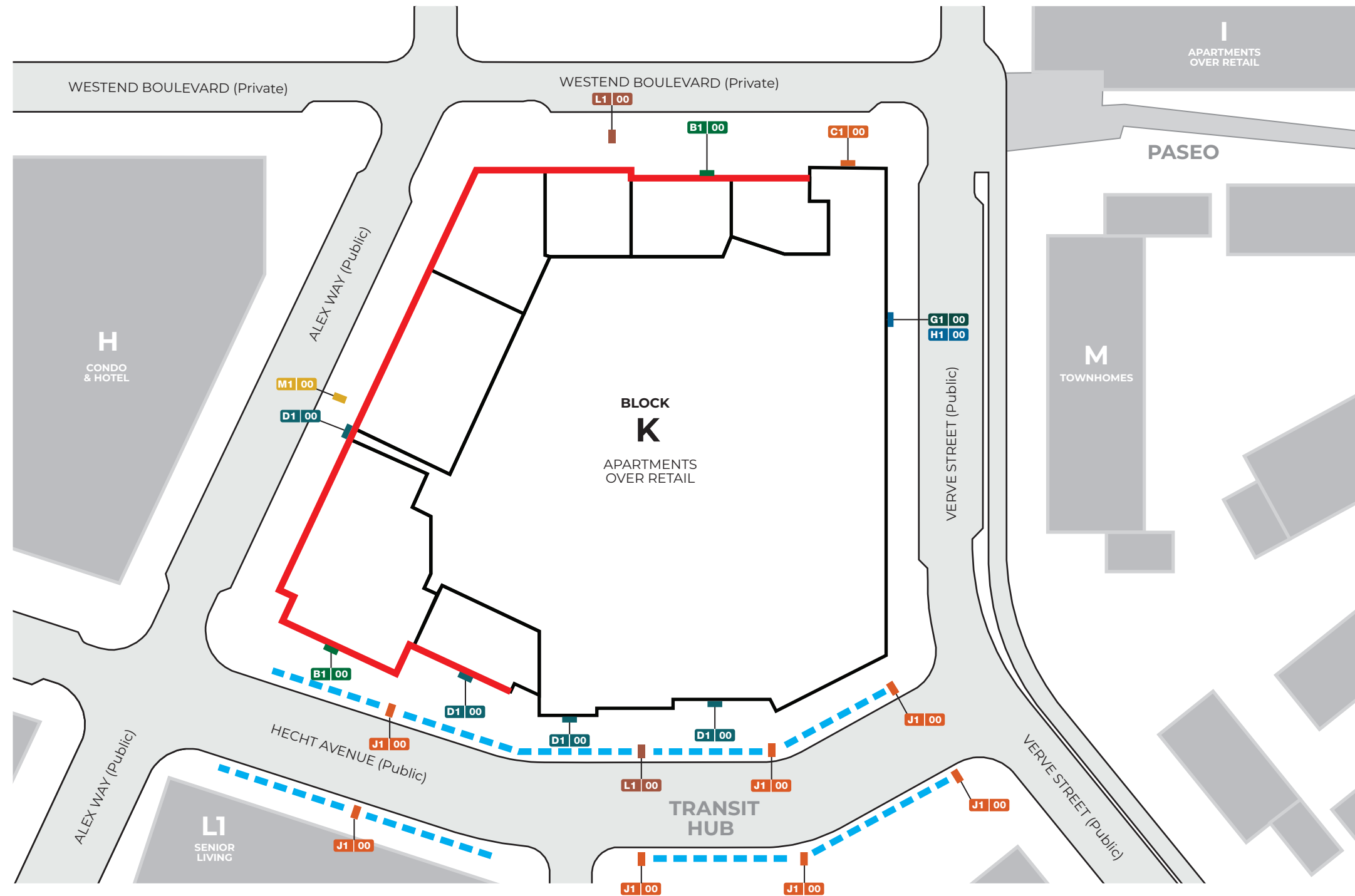




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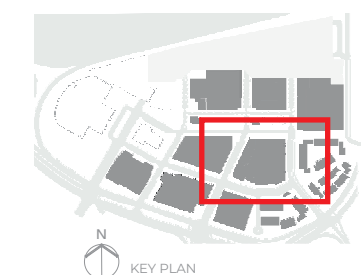
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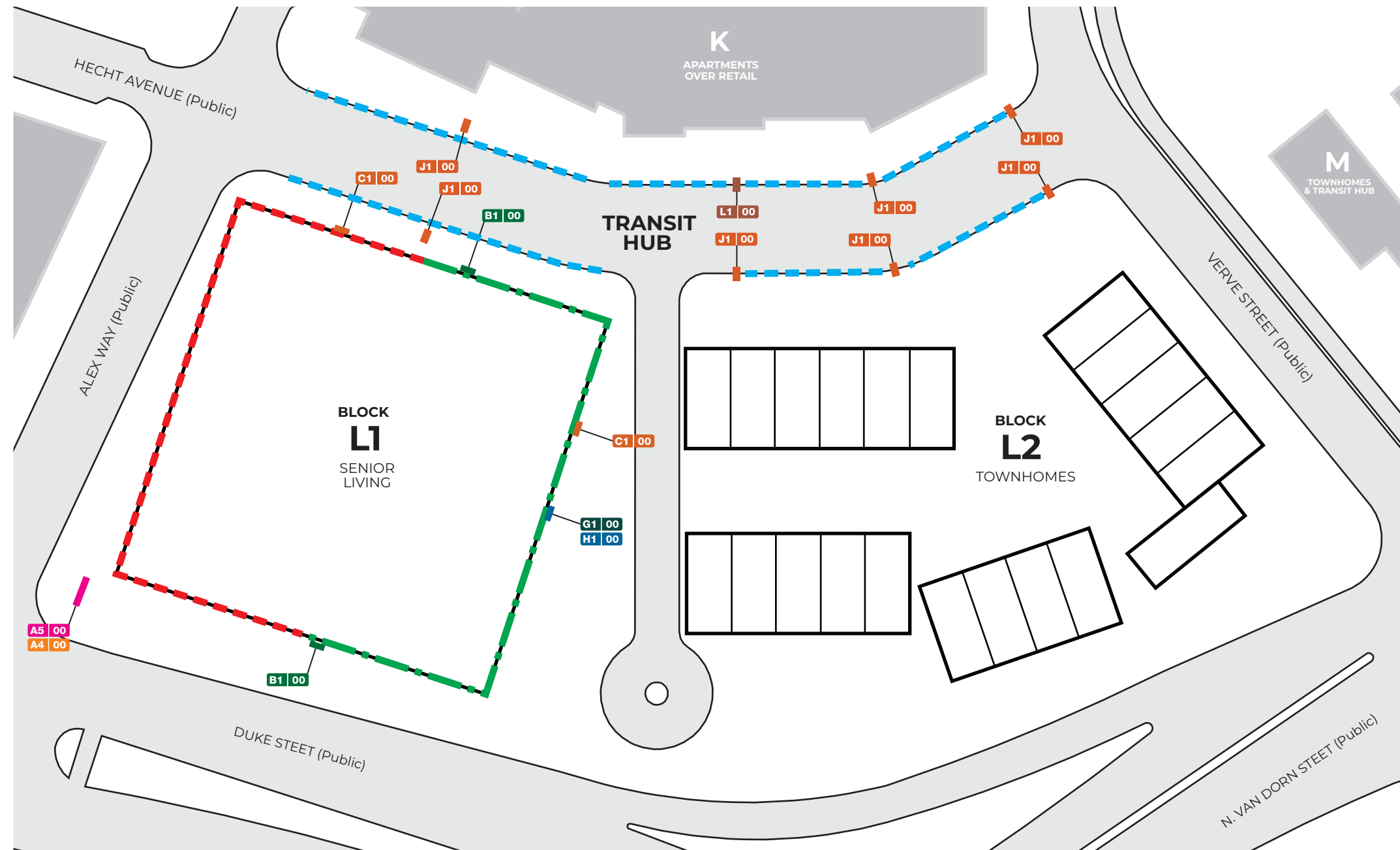




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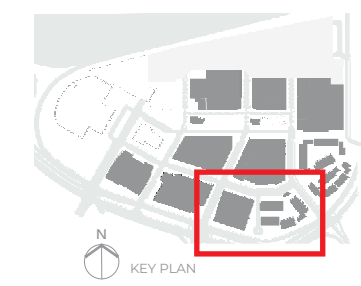
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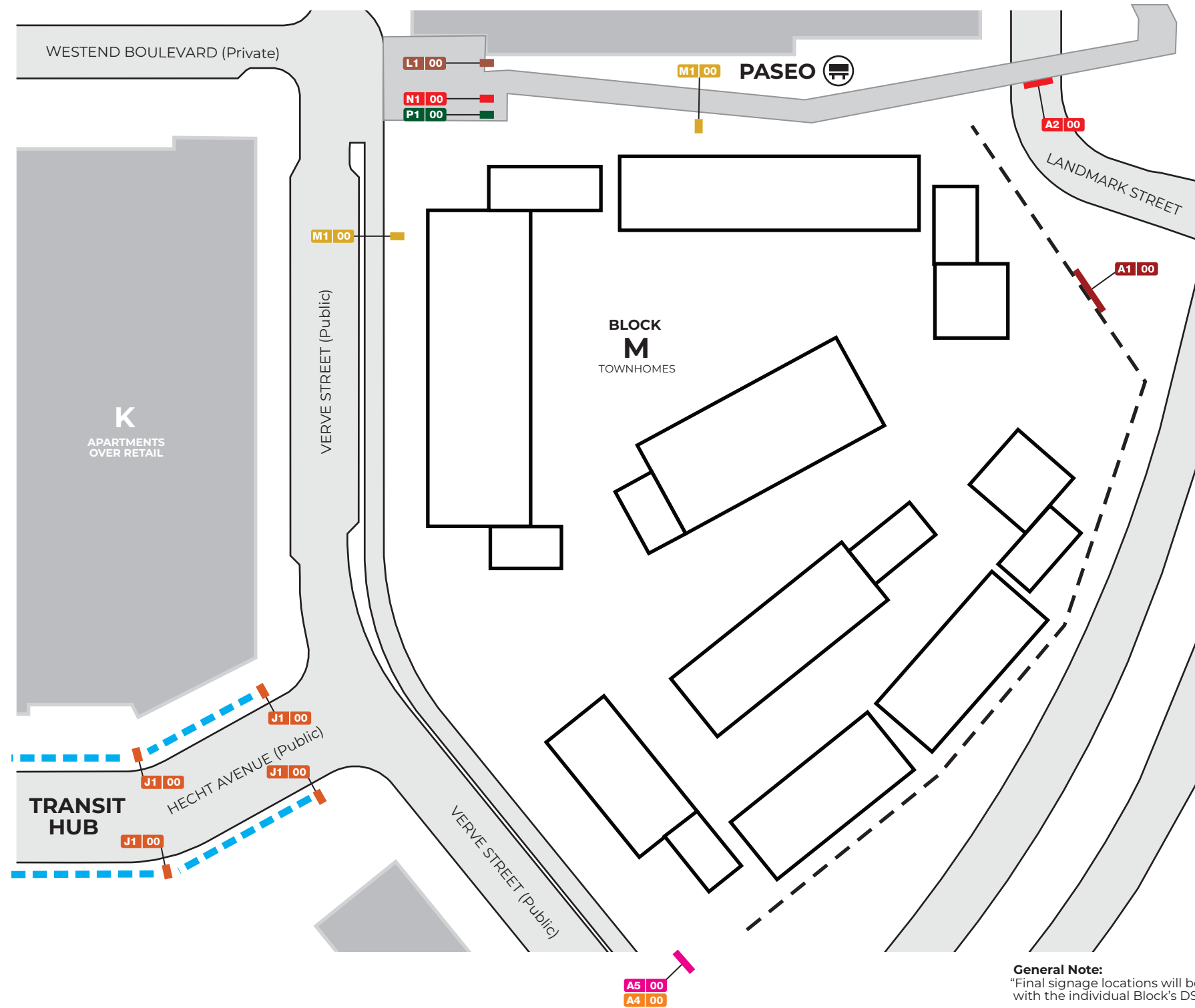




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General Note:
 "Final signage locations will be in coordination with the individual Block's DSUP."

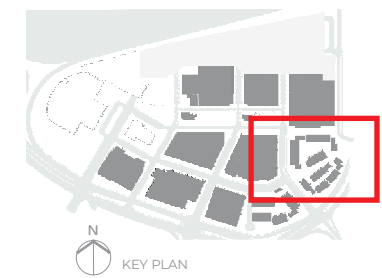


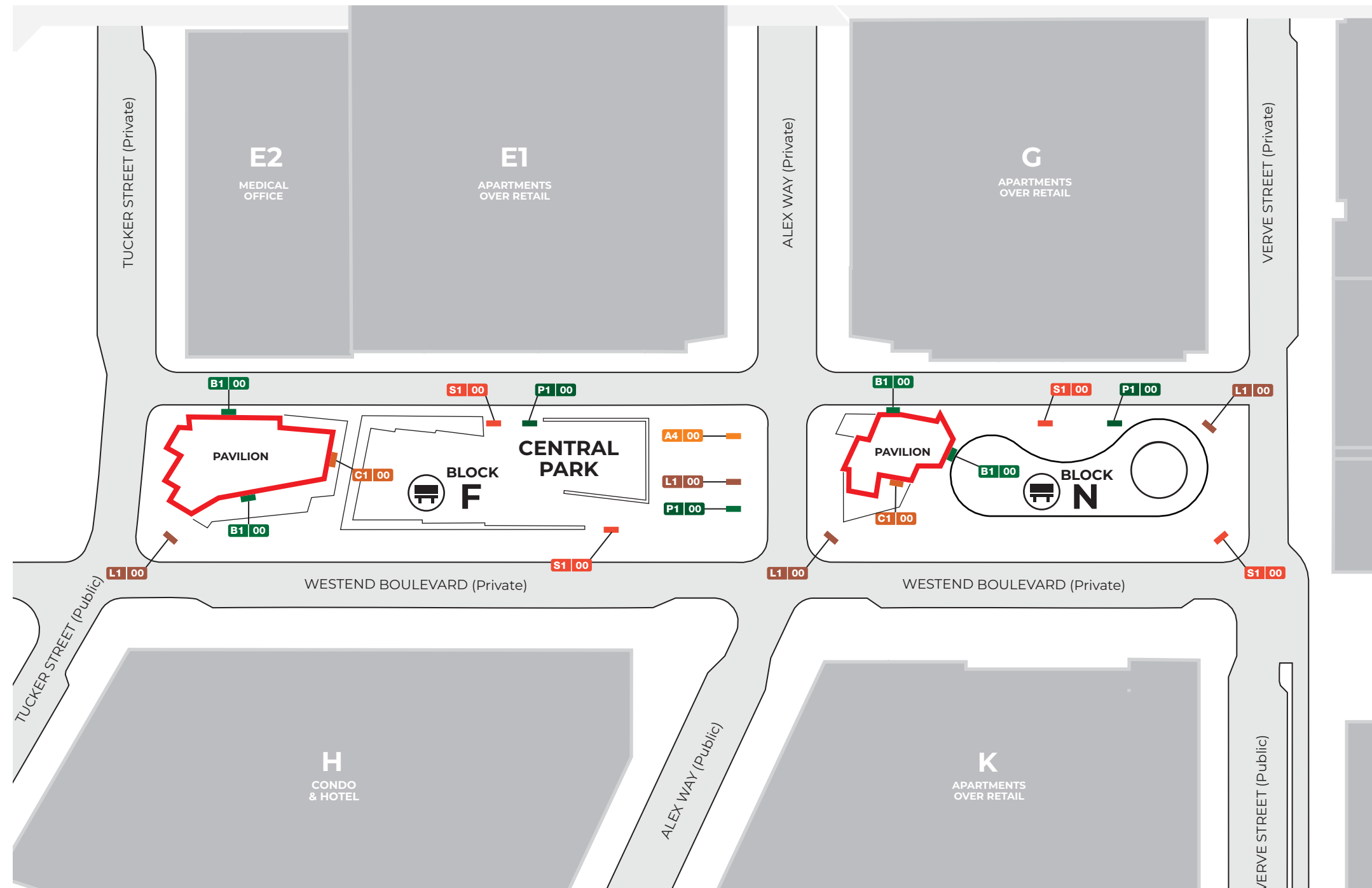


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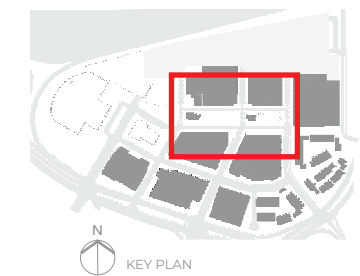
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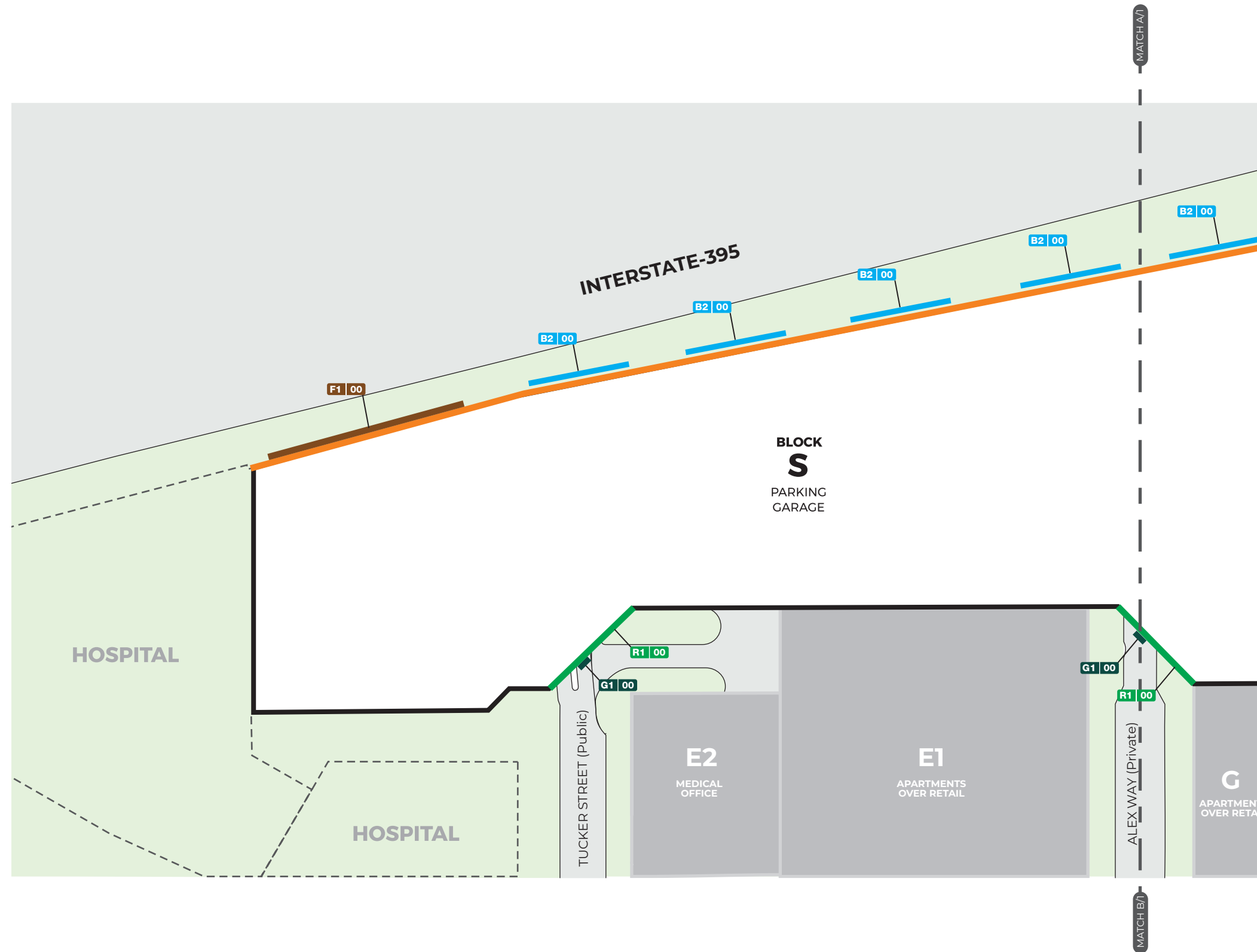




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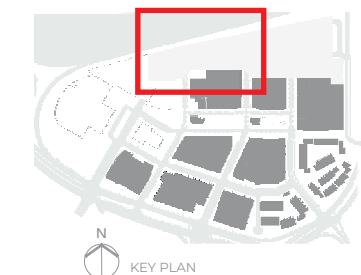
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 - * **A4 00** Community Entrance Identification Icon
 - A5 00** Primary Tenant Entrance Monument
 - B1 00** Primary Building Identification
 - B2 00** Parking Garage Tenant Identification
 - C1 00** Major Building Entrance
 - D1 00** Minor Building Entrance
 - E1 00** Major Building Entrance Blade
 - F1 00** Parking Structure Digital Marque
 - * **G1 00** Building Parking
 - * **H1 00** Loading Dock
 - * **J1 00** Bus Stop / Transit Hub
 - * **L1 00** Pedestrian Digital Directory
 - * **M1 00** Pedestrian Pathfinder
 - * **N1 00** Park & Trail Pedestrian Directional
 - * **P1 00** Park Rules & Regulations
 - * **Q1 00** Trail Marker Signage
 - * **R1 00** Interpretive Wall Mural
 - * **S1 00** Site Interpretive Signage
 - Planned Retail Signage
 - - -** Proposed Retail Signage
 - Potential Retail Signage
 - Transit Hub
 - Wall Mural
 - Structured Parking Retail
 - Parking Structure Digital Marque
 - Fire Station
 - Ⓟ** Public Parks & Paseo
- * = Signs that do not count towards the individual block sign maximum allowances

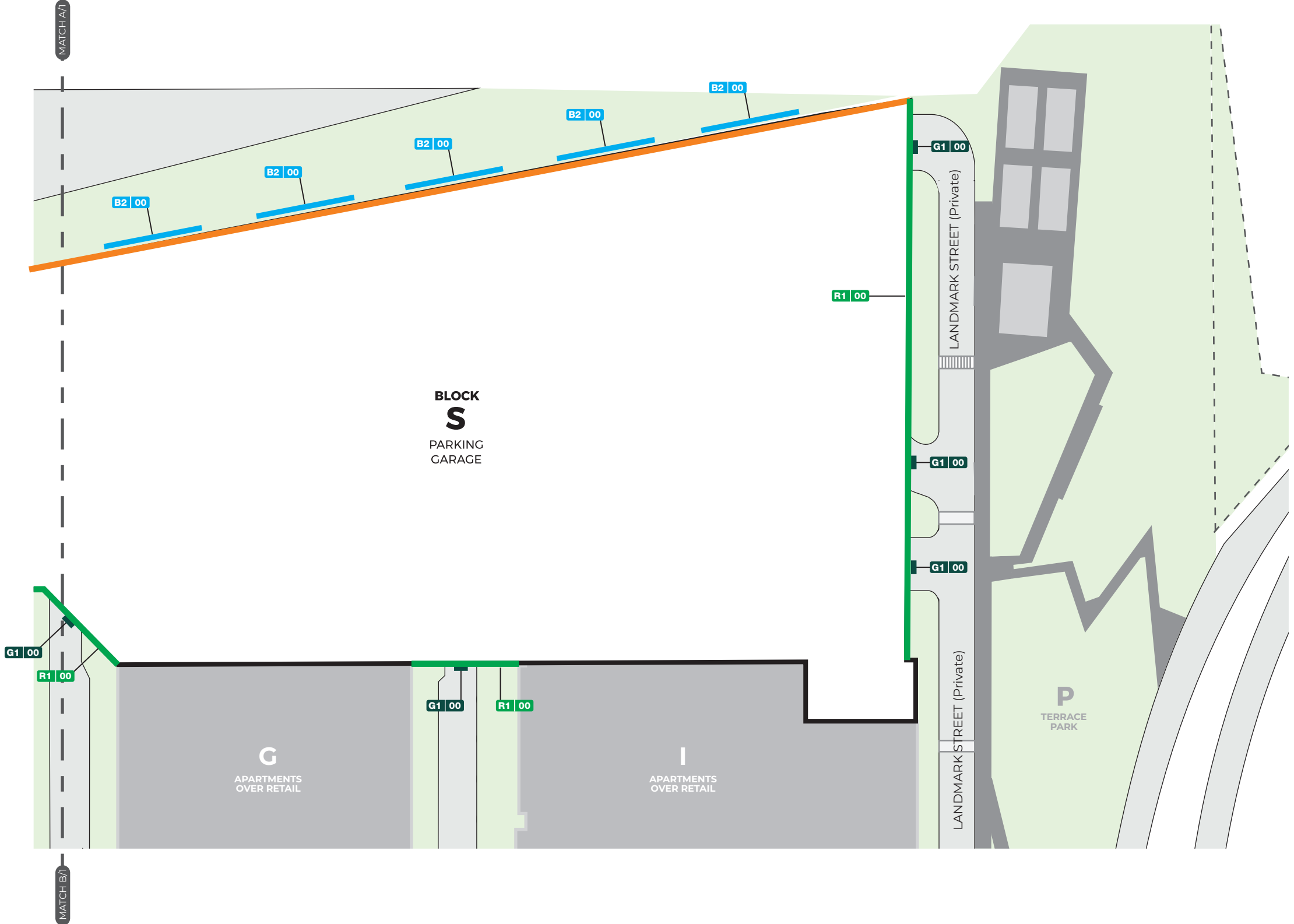




SIGNAGE LEGEND:

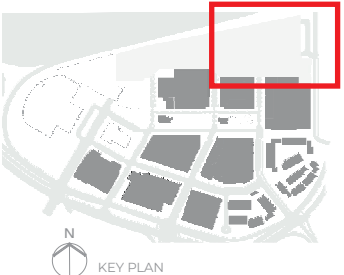
- * **A1 00** Wall Mounted Community Identification
 - * **A2 00** Bridge Mounted Community Identification
 - * **A3 00** NOT USED
 - * **A4 00** Community Entrance Identification Icon
 - A5 00** Primary Tenant Entrance Monument
 - B1 00** Primary Building Identification
 - B2 00** Parking Garage Tenant Identification
 - C1 00** Major Building Entrance
 - D1 00** Minor Building Entrance
 - E1 00** Major Building Entrance Blade
 - F1 00** Parking Structure Digital Marquee
 - * **G1 00** Building Parking
 - * **H1 00** Loading Dock
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 - - - Transit Hub
 - Wall Mural
 - Structured Parking Retail
 - Parking Structure Digital Marquee
 - Fire Station
 - ⊞ Public Parks & Paseo
- * = Signs that do not count towards the individual block sign maximum allowances





SIGNAGE LEGEND:

- * A1 00 Wall Mounted Community Identification
 - * A2 00 Bridge Mounted Community Identification
 - * A3 00 NOT USED
 - * A4 00 Community Entrance Identification Icon
 - A5 00 Primary Tenant Entrance Monument
 - B1 00 Primary Building Identification
 - B2 00 Parking Garage Tenant Identification
 - C1 00 Major Building Entrance
 - D1 00 Minor Building Entrance
 - E1 00 Major Building Entrance Blade
 - F1 00 Parking Structure Digital Marque
 - * G1 00 Building Parking
 - * H1 00 Loading Dock
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 - Transit Hub
 - Wall Mural
 - Structured Parking Retail
 - Parking Structure Digital Marque
 - Fire Station
 - Public Parks & Paseo
- * = Signs that do not count towards the individual block sign maximum allowances

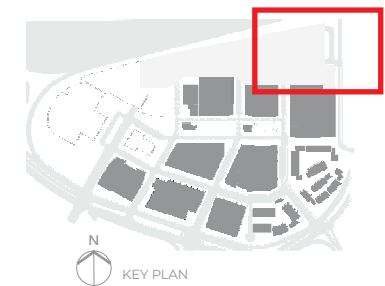


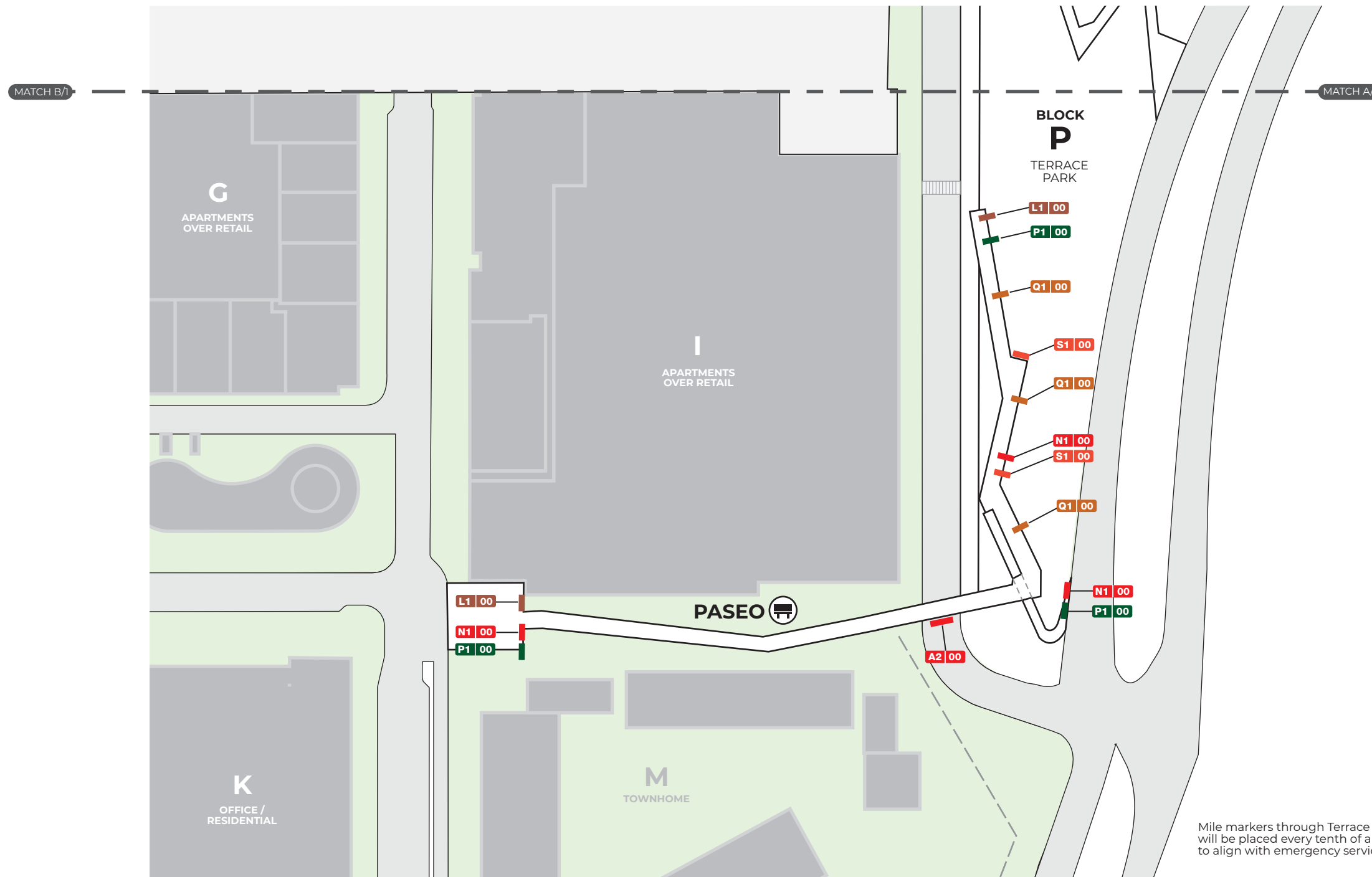


SIGNAGE LEGEND:

- * **A1 00** Wall Mounted Community Identification
 - * **A2 00** Bridge Mounted Community Identification
 - * **A3 00** NOT USED
 - * **A4 00** Community Entrance Identification Icon
 - A5 00** Primary Tenant Entrance Monument
 - B1 00** Primary Building Identification
 - B2 00** Parking Garage Tenant Identification
 - C1 00** Major Building Entrance
 - D1 00** Minor Building Entrance
 - E1 00** Major Building Entrance Blade
 - F1 00** Parking Structure Digital Marque
 - * **G1 00** Building Parking
 - * **H1 00** Loading Dock
 - * **J1 00** Bus Stop / Transit Hub
 - * **L1 00** Pedestrian Digital Directory
 - * **M1 00** Pedestrian Pathfinder
 - * **N1 00** Park & Trail Pedestrian Directional
 - * **P1 00** Park Rules & Regulations
 - * **Q1 00** Trail Marker Signage
 - * **R1 00** Interpretive Wall Mural
 - * **S1 00** Site Interpretive Signage
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 - - - Potential Retail Signage
 - Transit Hub
 - Wall Mural
 - Structured Parking Retail
 - Parking Structure Digital Marque
 - Fire Station
 - Public Parks & Paseo
- * = Signs that do not count towards the individual block sign maximum allowances

Mile markers through Terrace Park will be placed every tenth of a mile to align with emergency services.

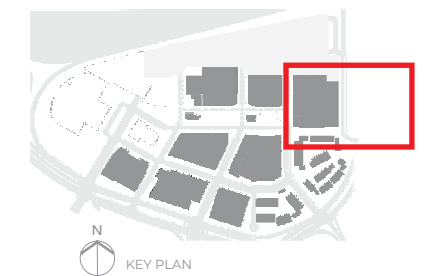




SIGNAGE LEGEND:

- * **A1 00** Wall Mounted Community Identification
 - * **A2 00** Bridge Mounted Community Identification
 - * **A3 00** NOT USED
 - * **A4 00** Community Entrance Identification Icon
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 - B2 00** Parking Garage Tenant Identification
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 - E1 00** Major Building Entrance Blade
 - F1 00** Parking Structure Digital Marque
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 - * **M1 00** Pedestrian Pathfinder
 - * **N1 00** Park & Trail Pedestrian Directional
 - * **P1 00** Park Rules & Regulations
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- * = Signs that do not count towards the individual block sign maximum allowances

Mile markers through Terrace Park will be placed every tenth of a mile to align with emergency services.



SECTION 02 Building Signage Exhibits

- 02 1 Building Top / Facade Signage
- 02 2 Building Top / Facade Signage Exhibit
- 02 3 Parking Garage Tenant - Facade Signage
- 02 4 Major Building Entrance - Facade Signage
- 02 5 Major Building Entrance - Signage Placement
- 02 6 Major Building Entrance - Signtype Examples
- 02 7 Major Building Entrance - Blade Signage
- 02 8 Parking Structure Digital Marque
- 02 9 Minor Building Entrance Signage
- 02 10 Structured Parking Entrance Signage
- 02 11 Loading Dock Entrance Signage
- 02 12 Bus Stop / Transit Hub Signage

Face Illuminated Channel Letters
Mounted to exterior EIFS wall panels



Face Illuminated Channel Letters
Mounted to metal wall panels



Face Illuminated Channel Letters
Mounted to window glazing



Face Illuminated Channel Letters
Mounted to architectural metal rail system



Halo Illuminated Channel Letters
Mounted to architectural background panel



BUILDING TOP/FACADE SIGNAGE:

Building top and facade signs shall be composed of individual channel letters or logos on minimal support rails. The support rails shall be painted to match the materials and finishes of building. If panel backgrounds are required, they are to match the architectural design materials of building.

Signage Quantity: A maximum of two (2) signs per building on opposing elevations, except for blocks E,G, and I. A maximum of four (4) signs, 1 per elevation for Blocks D,H, and K. Building top signs mounted above 25' will not count towards an individual blocks maximum allowable square footage.

Block E	Max. of two (2) signs per building.
Block G	Max. of two (2) signs per building.
Block I	Max. of two (2) signs per building.

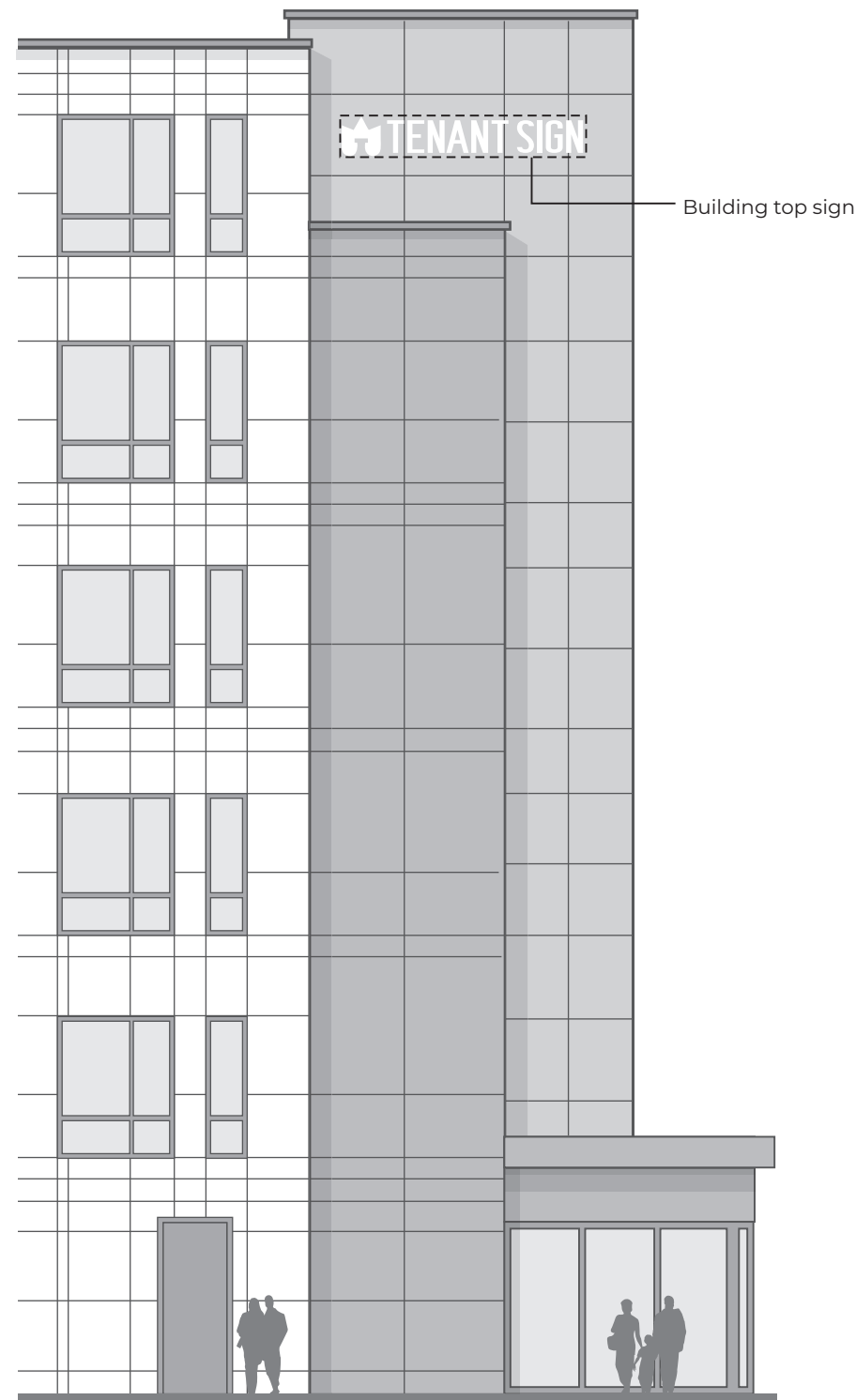
Block D	Max. of four (4) signs per building.
Block H	Max. of four (4) signs per building.
Block K	Max. of four (4) signs per building.

Signage Locations: Building top & facade signs may be located on any elevation facing Interstate 395, Duke Street, or North Van Dorn Street, respectively. Final locations to be determined. Each building applicant shall develop a specific design and provide a detailed submittal for review and approval for conformance with Site Plans.

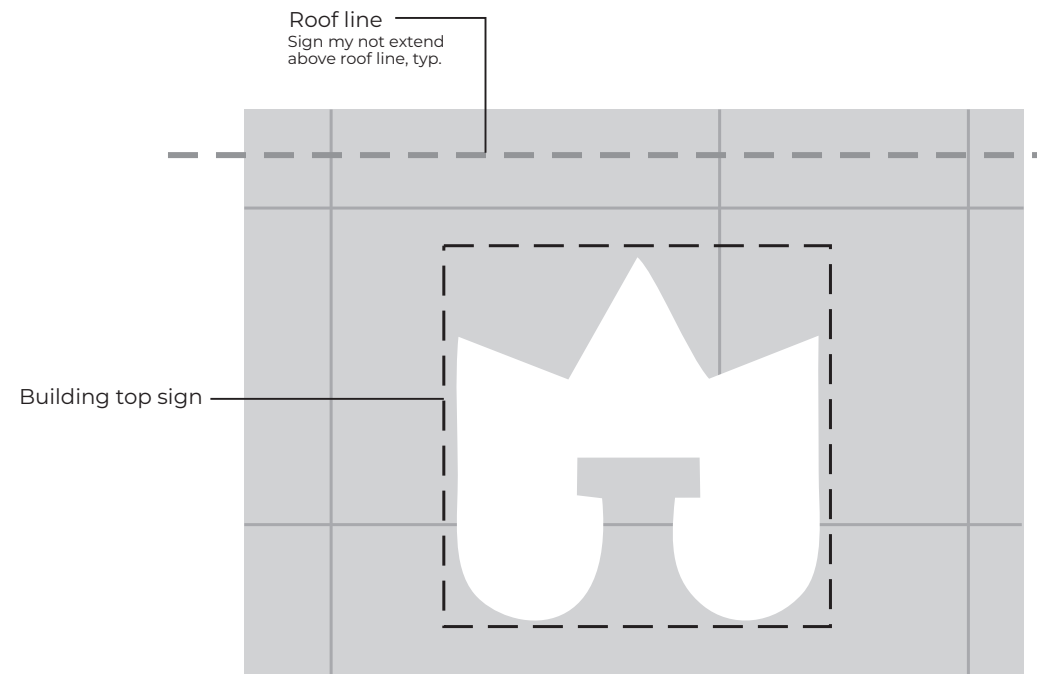
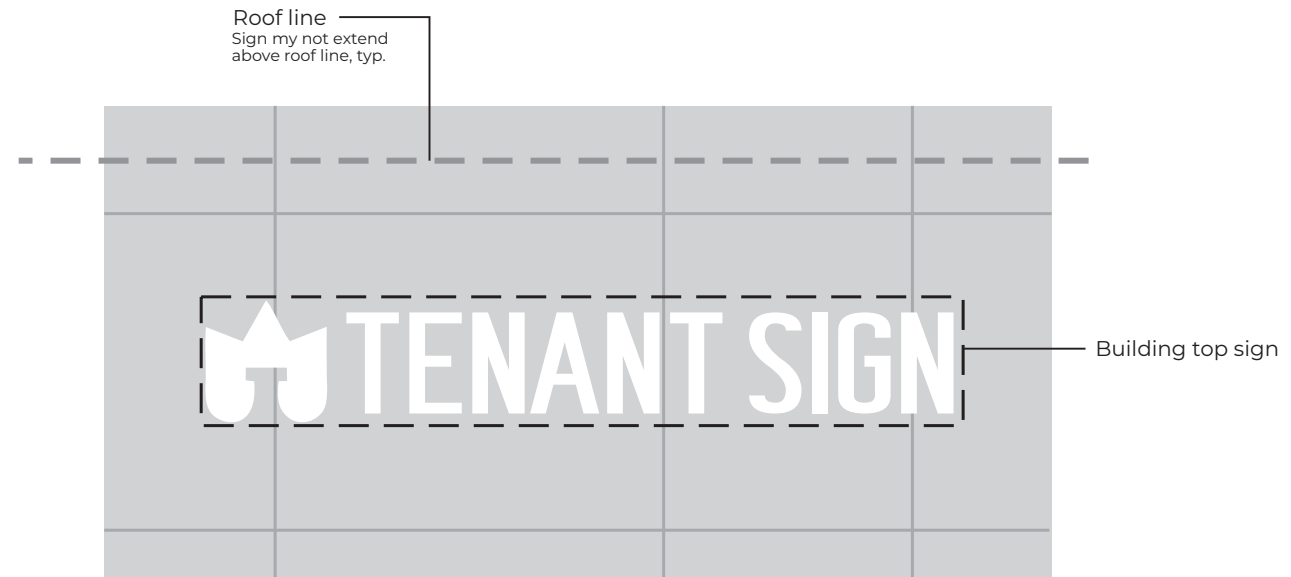
Mounting Height: Signs are to be mounted in area above grade and below the roof line; the sign may not be mounted to the roof and no part of the sign shall extend above the roof. The sign may not be mounted to the mechanical screen unless the mechanical screen is integrated within the building facade.

Illumination: letters & logos may be illuminated with internal illumination, halo illumination or external spot lighting. All illumination must be on house timer and coordinated with overall site lighting standards.

Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.

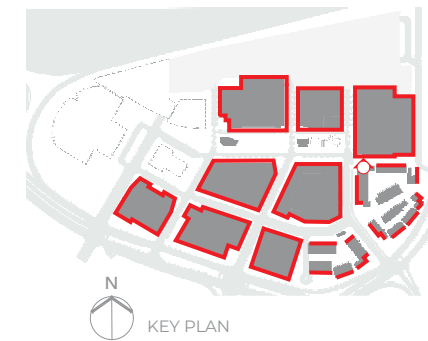


Scale: 3/32"=1'-0" **B1 00**



Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.

Building top signage allowed on frontages indicated by red line. —



PARKING GARAGE FACADE SIGNAGE EXAMPLES



PARKING GARAGE FACADE:

Parking garage facade signs shall be composed of internally illuminated individual channel letters or logos on minimal support rails as electrical raceway. Garage facade signage may also be comprised of vertical or horizontal, static banner elements to display Tenant branding.

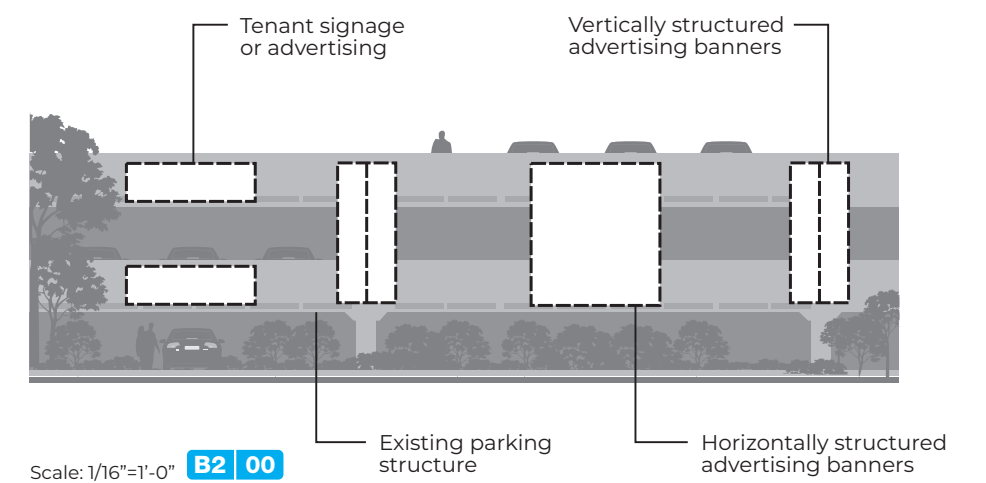
Quantity: A maximum of twelve (12) locations to be evenly placed.

Locations: Tenant signage and advertisement shall be evenly placed along northern garage facade facing Interstate 395.

Size: Maximum size: 100sq/ft for each Tenant location

Illumination: Letters and logos may be illuminated with internal illumination, halo illumination external spot lighting. All illumination must be on house timer and coordinated with overall site lighting standards.

Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.





GENERAL NOTE:

Final signage quantities, locations and messages to be determined by building design team provided that primary and secondary signs together do not exceed 2 square foot aggregate total per linear foot of entrance lobby frontage.

The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.



BUILDING ENTRANCE FACADE:

The overall sign composition is to be carefully developed and coordinated with the architectural design of the entrance, including the materials, finishes, and lighting.

Signage Quantity: Each building is allowed one (1) primary sign per building main entrance; & up to three (3) secondary signs per entrance.

Signage Location: Signs are to be located at the building main entry to identify the building. As shown in the examples, the sign content shall be limited to the following:

- Building name / building address
- Building occupant(s) name / logo (up to 6 occupant names total)

Signage Hierarchy: Hierarchy is to be established between primary and secondary entrance signage:

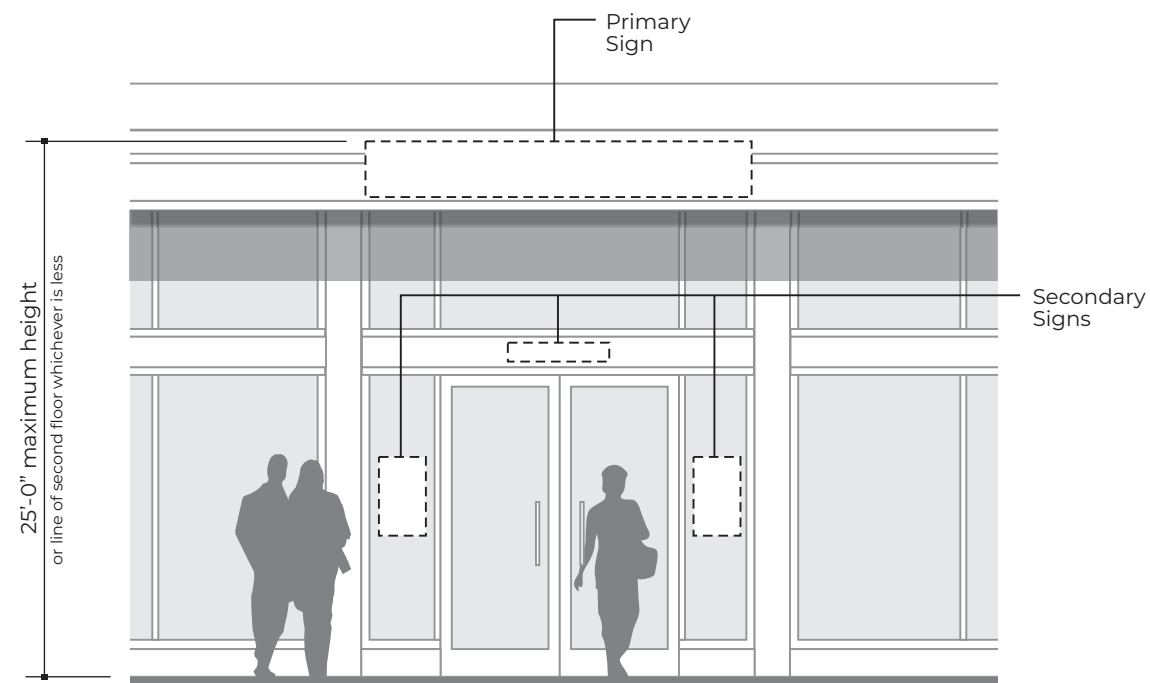
- Primary sign is a larger sign, generally located above the entrance, for distance vehicular and pedestrian visibility.
- Secondary signage is to be smaller and located at pedestrian scale.

Signage Size: Signs are to be 1.5 SF maximum per linear foot of lobby frontage, aggregate total of primary and secondary signs.

Mounting Height: Signs are to be mounted above Grade: 25 FT to top of sign, or below the second floor line, whichever is less.

Illumination: Internal illumination, halo illumination and external spot lighting are allowed. Only letters may be illuminated; internally illuminated panel backgrounds are not allowed.

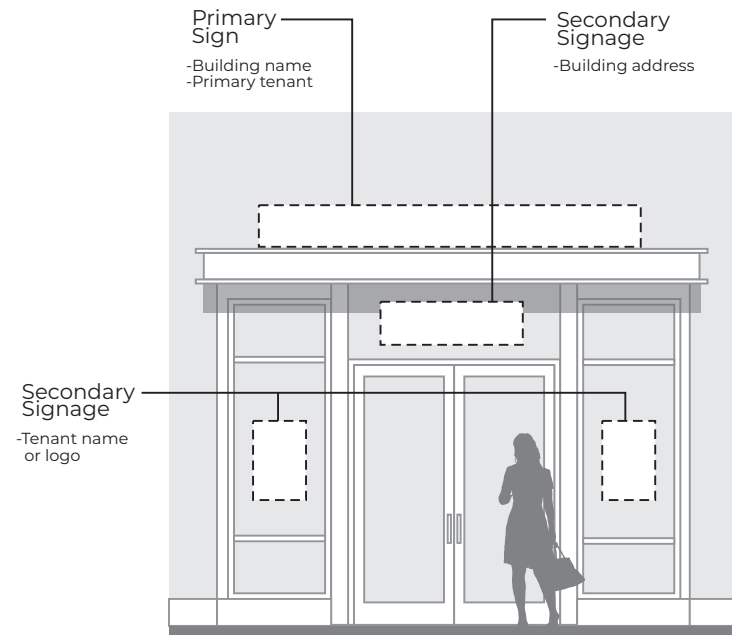
Window Signage: Can be installed at the building entrance, but may not exceed 25% of the glass area (in addition to the square footage allotment for other sign types).



Scale: 3/16"=1'-0" C1 00

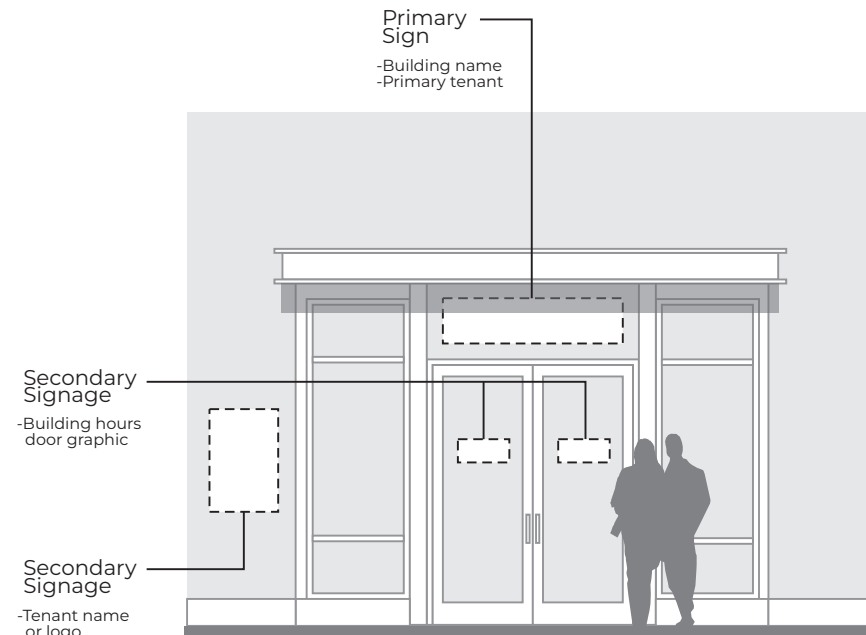
Note: This page shows a variety of possible configurations for Building Main Entrance Signage, design is not limited by the examples shown. Final design will be determined by Design Team to meet the criteria and guideline herein.

The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.



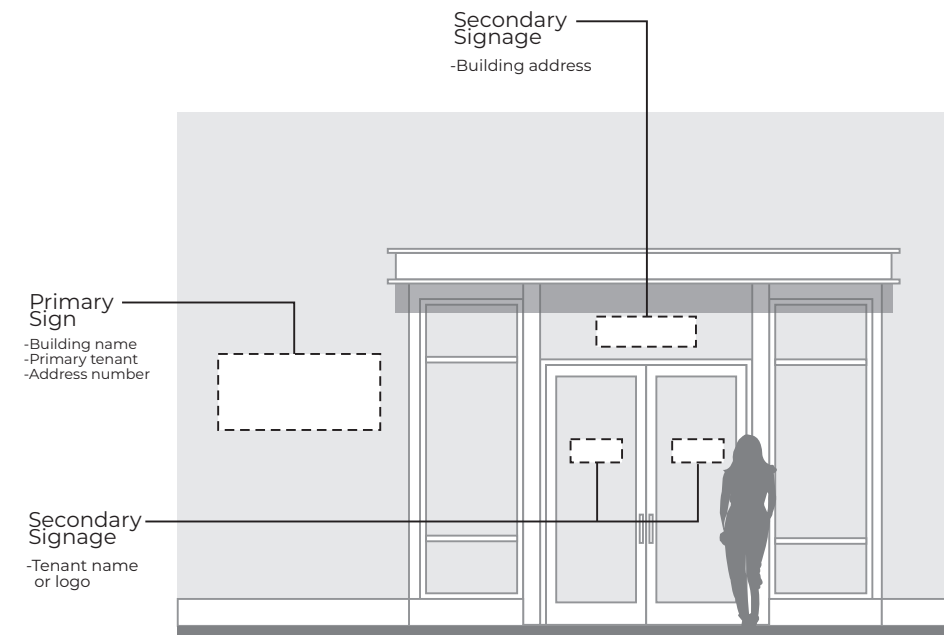
Scale: 3/16"=1'-0"

Exhibit 1



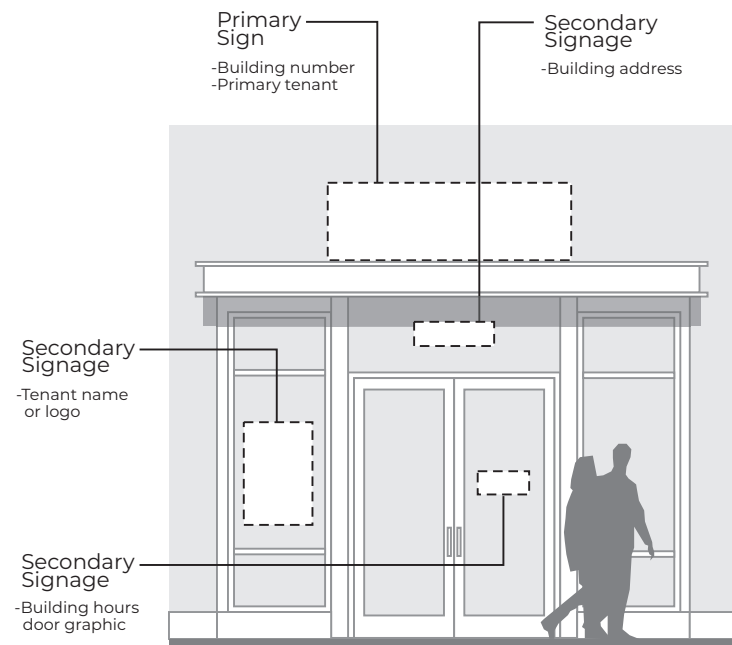
Scale: 3/16"=1'-0"

Exhibit 2



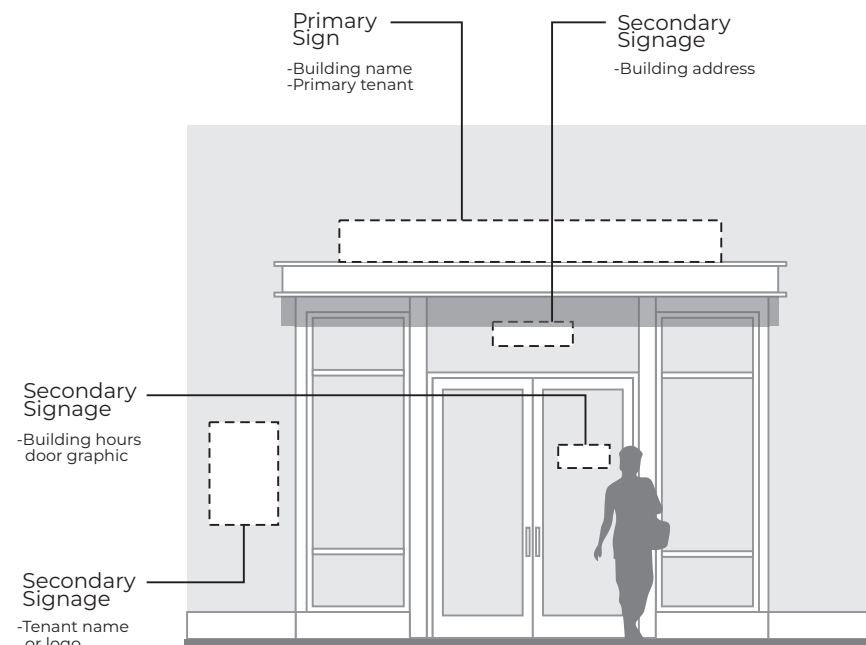
Scale: 3/16"=1'-0"

Exhibit 3



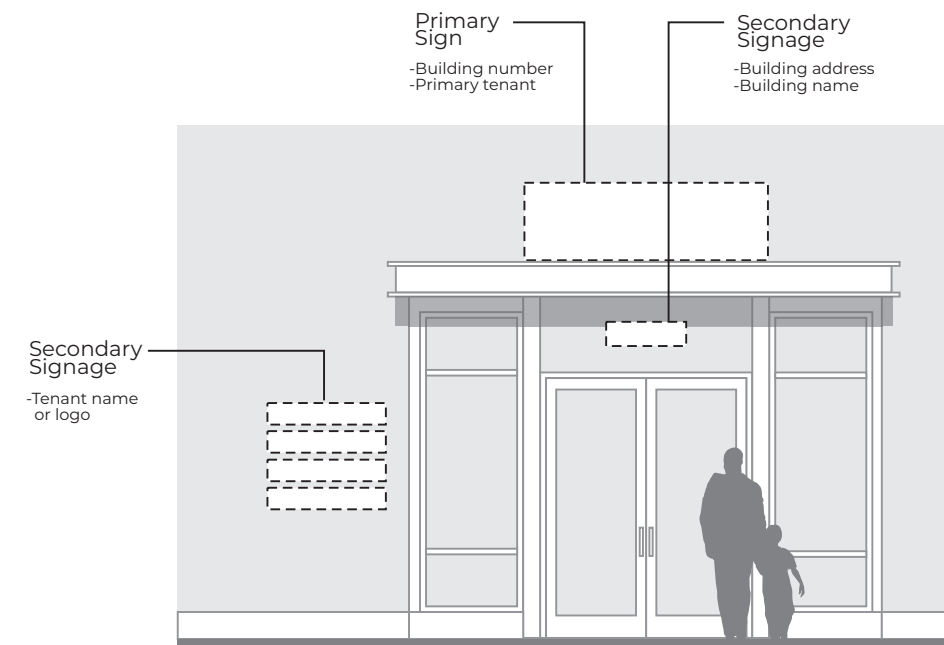
Scale: 3/16"=1'-0"

Exhibit 4



Scale: 3/16"=1'-0"

Exhibit 5



Scale: 3/16"=1'-0"

Exhibit 6

Note:
The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.

Push-thru acrylic face
Illuminated Channel Letters
Mounted on structural
architectural rail



Face/Halo Illuminated
Channel Letter Combination
Mounted on structural
architectural rail



Face/Halo Illuminated
Channel Letter Combination
Mounted to top
side of entry canopy



Halo Illuminated
Channel Letters
Mounted on structural
architectural rail



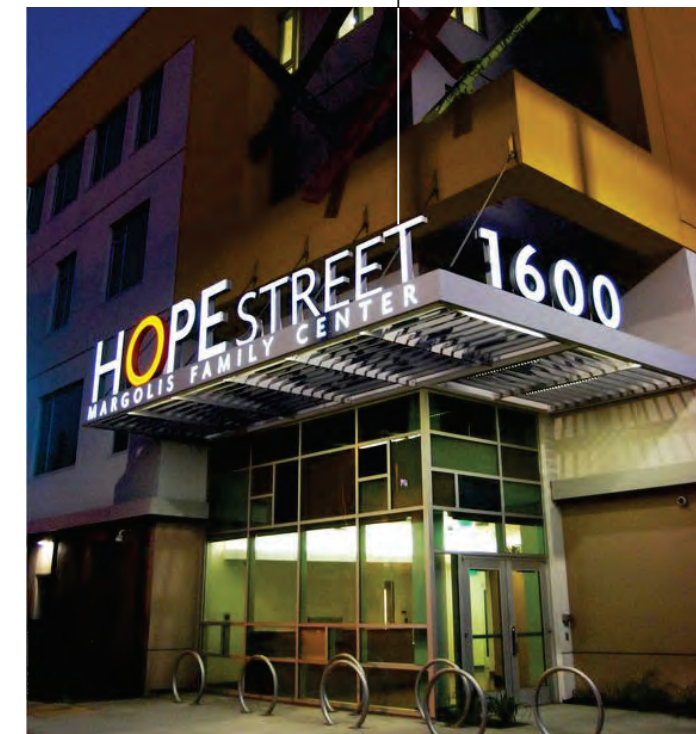
Face Illuminated
Channel Letters
Mounted to bottom
side of entry canopy



Fully Illuminated
Channel Letters
Mounted to facade
metal tube cladding



Face Illuminated
Channel Letters
Mounted on structural
architectural rail





Push-thru Backlit Letters



Push-thru Backlit Letters



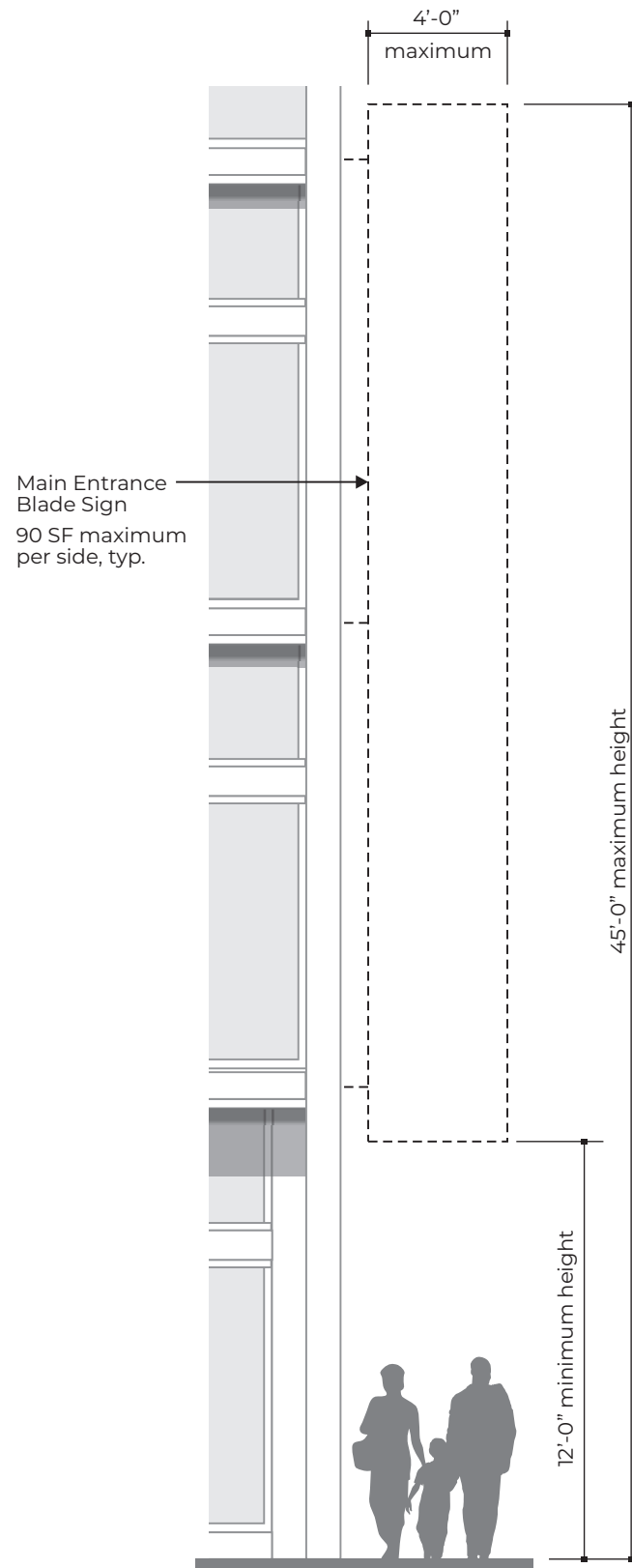
Halo Illuminated Letters



Halo Illuminated Letters



Face Illuminated Letters



Scale: 3/16"=1'-0" E1 00

**BUILDING ENTRANCE BLADE:
SIGN TYPE (E1) IS TO BE SUBSTITUTION
TO THE PROFFERED SIGN TYPE (C1)**

The Blade type signage is a substitution for the primary main entrance sign. Secondary entrance signage is also allowed with a Blade Sign, as described in the previous Building Main Entrance Signage pages.

Signage Quantity: Each building is allowed two (2) entrance identity signs except for blocks H and K which are allowed three (3).

Signage Substitution: The Blade is a substitution for the primary main entrance facade sign. Secondary entrance signage is also allowed with a Blade Sign, as described in the previous Building Main Entrance Facade Signage pages.

- Special conditions for blade signs:
- Architectural configuration of entrance
- Accent element to view corridor
- Streetscape variety

Signage Location: The Blade shall be 2-sided, mounted perpendicularly to the building facade.

- Maximum Projection: 4'- 0"
- Maximum Size: 90 SF per side

Mounting Height: The maximum mounting height above grade is 45 FT to top of sign; 12 FT minimum to bottom of sign; size and positioning of blade sign to align and be coordinated with architectural facade elements

Illumination: Blade sign to be internally illuminated, halo illumination and external spot lighting are allowed. Only letters may be illuminated; internally illuminated panel backgrounds are not allowed.

Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.



Minor Entrance Door Graphic



Minor Entrance Wall Panel



Minor Entrance Address Numbers

BUILDING MINOR ENTRANCE:

Signage Quantity: Three (3) signs per minor building entrance to areas such as service rooms, bike storage rooms, non-public, staff or resident-only areas.

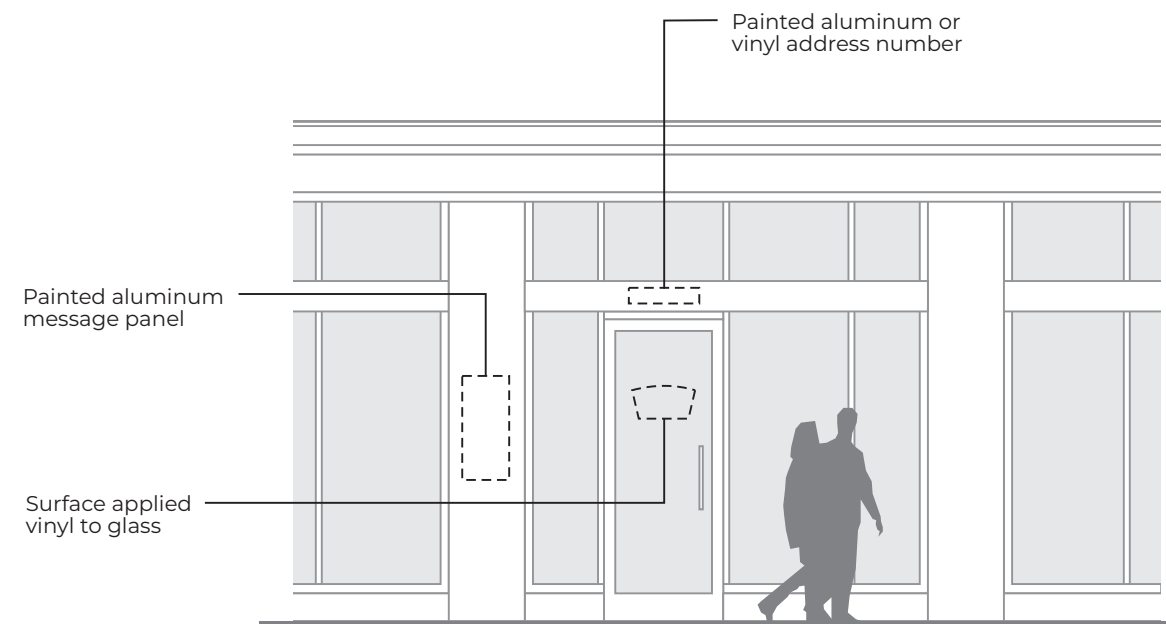
Signage Types:

- Painted aluminum panel
- Natural metal plaque
- Surface applied vinyl to glass
- Individual suite numbers

Signage Size: Maximum size: 9 SF

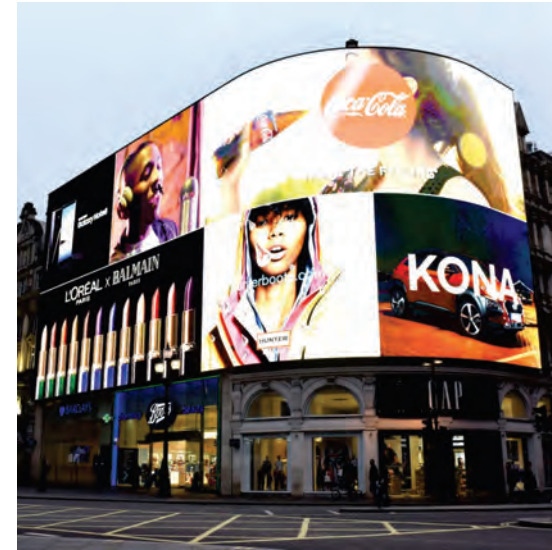
Illumination: External ambient or indirect

Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.



Scale: 3/16"=1'-0" D1 00

Note: The below images of the Waterside District digital marque sign program represent a Precedent for Virginia based, high traffic frontage digital signage.



Quantity: 1 location, High resolution digital marque.

Locations: High resolution digital display is to be located along northwest corner of parking garage facing Interstate 395.

Design: Wall or roof mounted, full color, high resolution LED display unit with chargeable media area and concealed structure.

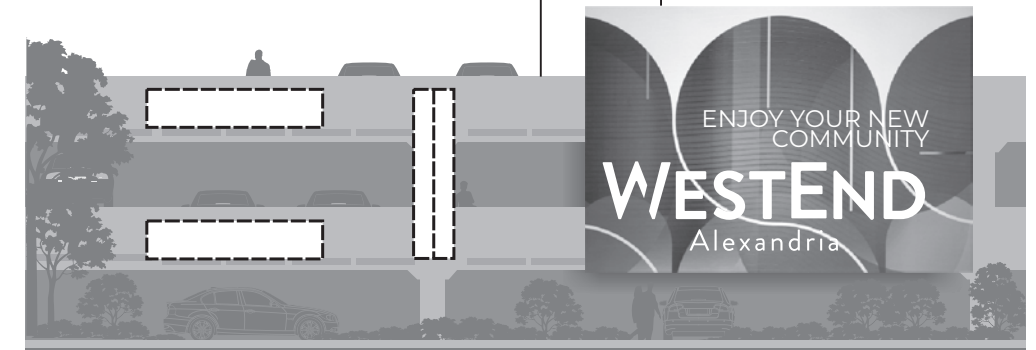
Size: Maximum size: Media display to be 900 sq/ft of face illuminated graphic with maximum 4" projection.

Illumination: Internal LED illumination

Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions

Existing parking structure

High resolution digital media display marque



Scale: 1/16"=1'-0" F1 00

Note:

Parking Blade Signs shall be consistent with the City's wayfinding standards for identifying parking using the same size and proportion of sign, same font, size, and color for the blue "P" symbol, with a simplified frame design and color to coordinate with the architectural context of the development.

BUILDING PARKING ENTRANCE:

Parking signage may include a digital LED light component to accommodate a smart parking system, which may display an OPEN/FULL message or the number of available parking spaces to motorists.

Signage Quantity: Maximum of one (1) of each sign type (primary entrance identification, Smart Parking LED, and blade) at each location

Signage Size: Maximum Size: 30 SF aggregate total of primary and secondary signs

Mounting Height: Height Above Grade: 25 FT to top of sign, or below the second floor line, whichever is less.

Illumination: Internal illumination, halo illumination and external spot lighting are allowed. Only letters may be illuminated; internally illuminated panel backgrounds are not allowed.

Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions

Parking symbol blade sign to identify garage entrance



Primary parking garage entrance identification

Digital Smart parking space availability count system



Smart Parking LED Entrance Signage

Structured Parking Entrance Directional Signage

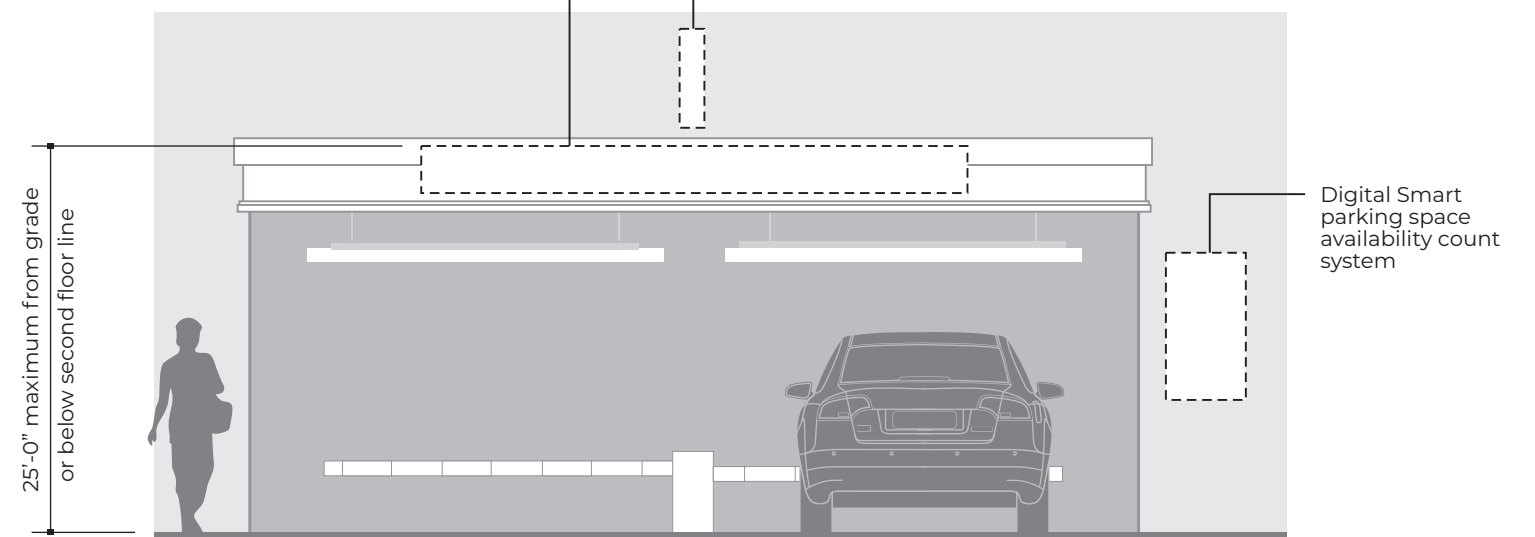
Primary parking garage entrance identification



Structured Parking Entrance Identity Signage

Primary parking garage entrance identity to be individual channel letters

Parking symbol blade sign to identify garage entrance



Scale: 3/16"=1'-0" G1 00



Individual Plate Letter Identity/Directional Signage



Panel Mounted Wall Identity/Directional Signage

LOADING DOCK SIGNAGE:

Signage Quantity: Maximum of 6 signs per loading dock

Maximum Size: 15 SF aggregate total

Height Above Grade: 25 FT to top of sign, or below the second floor line, whichever is less

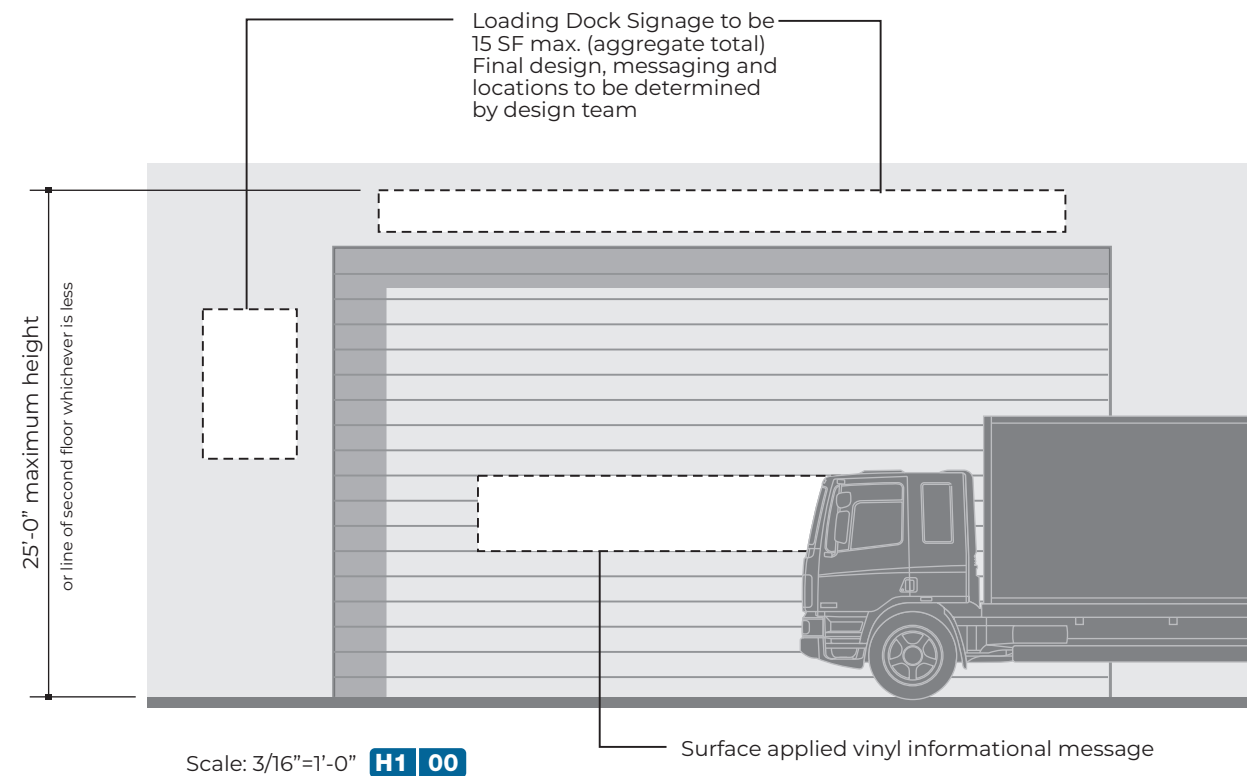
Illumination: ambient or external spot lighting only; internal illumination not allowed

City Compliance: Proposed signs shall be consistent with the City's wayfinding standards.

Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions



Surface Applied Vinyl Informational Signage





Transportation Hub ID / digital advertising & transportation schedule panel



Transportation Hub ID / digital advertising & transportation schedule panel



Curbside bus stop signage



Curbside bus stop signage

BUS STOP / TRANSIT HUB SIGNAGE:

Bus shelter information shall include international bus symbol and name of stop. Bus service and route information shall be additional signage provided curbside, by bus lines.

Signage Quantity: 4 locations J1-00 – J1-04)

Signage Design: Final design of the shelter structures is to be developed by the City of Alexandria in coordination with adjacent owners.

Illumination: Indirect or external spot lighting

City Compliance: Final signage will be determined by the City, at City's sole expense, and may include additional signage beyond the examples shown here.

Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions



SECTION 03 Retail Signage Exhibits

- 03 1 Retail Signage General Guidelines
- 03 2 Retail Storefront Sign Type Overview
- 03 3 Retail Storefront Entrance Signage
- 03 4 Retail Storefront Projecting Blade Signage
- 03 5 Retail Storefront Window Graphic

The streetscapes are to be framed by retail and other pedestrian oriented uses at the locations shown on the plan below. The signage associated with these active ground-floor tenants will contribute to creating a vibrant community and innovative district culture.

The guidelines that follow describe the design parameters and quality standards for retail signage within the community. These guidelines are intended to encourage individual brand expression while also establishing a consistent district-wide framework of sign types, sizes, locations, quality of design and material.

Note: the drawings and images in this section are for illustrative purposes only, show typical conditions, and are not specific design solutions.

Each retailer shall develop a specific design solution for their specific location, and provide a detailed submittal for review and approval for consistency with the approved Coordinated Sign Plan.

Interpretive Wall Mural locations may also include potential retail Tenant signage.

SIGNAGE GUIDELINES:

General Design: Retail Signage within the WestEnd Alexandria district shall be creative, unique and designed to contribute to the overall innovative image of the community. Retail Signage is limited to trade name and logo/logotype only. A listing of products or services is prohibited.

Fabrication: All signs shall be fabricated and installed by a qualified, experienced sign manufacturer. Sign construction shall be in accordance with all applicable codes. No power switches, manufacturers' labels, or other such labels, are permitted on the exposed surfaces of signs. If required by code, they must be in an inconspicuous location. Conduit, raceways, transformers and other equipment shall be concealed. Access panels to such equipment shall be located at the backside of the interior fascia or other non-visible location.

Installation: Fasteners and connections for all signage shall be concealed. All fasteners and materials shall be appropriate for exterior conditions without rust, corrosion, or other deterioration.

Illumination: All signage lighting shall be integral to the sign in a sophisticated manner. All signage lighting shall be controlled by a timer set to established project hours. Light levels on retail signage shall be consistent with the project's overall lighting plan and shall not create glare or disturbance to nearby uses.

Materials: Sign materials are to be cut or fabricated metal (aluminum, stainless steel, brass or bronze) with satin, polished, painted or other high-quality exterior-grade finish. Dimensional shapes and forms of metal, hardwood, glass, or other materials with a high level of quality and durability appropriate for exterior conditions.



Hospital campus, including all identity and wayfinding signage to be developed by others.

STOREFRONT ENTRANCE SIGN



Storefront Entrance Signage is located at the main entrance, parallel to the building facade, and serves as the primary identification sign. It is typically located higher on the storefront and provides both vehicular and pedestrian visibility from a close distance, as well as from across the street.

PROJECTING BLADE SIGN



Projecting Blade Signage is a two-sided sign mounted at right angles to the building. This sign provides additional visibility for vehicles and pedestrians, adds texture and creates a more human scale to the streetscape.

STOREFRONT WINDOW GRAPHIC



Storefront Window graphic is applied to the surface of the storefront glass. Window Signage provides supplemental brand expression, activates the storefront glass, and draws the eye to the interior displays.

Each retail location may have one of each sign type from three sign types shown above. Each sign type is further detailed in the Coordinated Sign Program pages that follow.

Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.

STOREFRONT ENTRANCE SIGNAGE EXAMPLES



Retail Entrance Sign shall be composed of individual letters / logos attached to minimal support rails. All supports shall be painted out to match the surrounding material.

Quantity: 1 per retail entrance Retail locations with more than one frontage (corner locations) are allowed 1 per elevation.

Mounting Height: 25 FT to top of sign, or below the second floor line, whichever is less

Mounting Conditions:

- On canopy
- Mounted to louver panel or mullions
- Suspended from overhang

Illumination:

- External spot lighting
- Halo illumination of letters
- Internal illumination of letters

Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.



STOREFRONT BLADE SIGNAGE EXAMPLES



Retail Projecting Blade Signs are to be unique shapes and dimensionality are encouraged. At a minimum, the projecting sign panel shall have applied dimensional letters and logos, with minimal bracket to the building.

Quantity: 1 per retail tenant, retail locations with more than one frontage (corner locations) are allowed 1 per elevation.

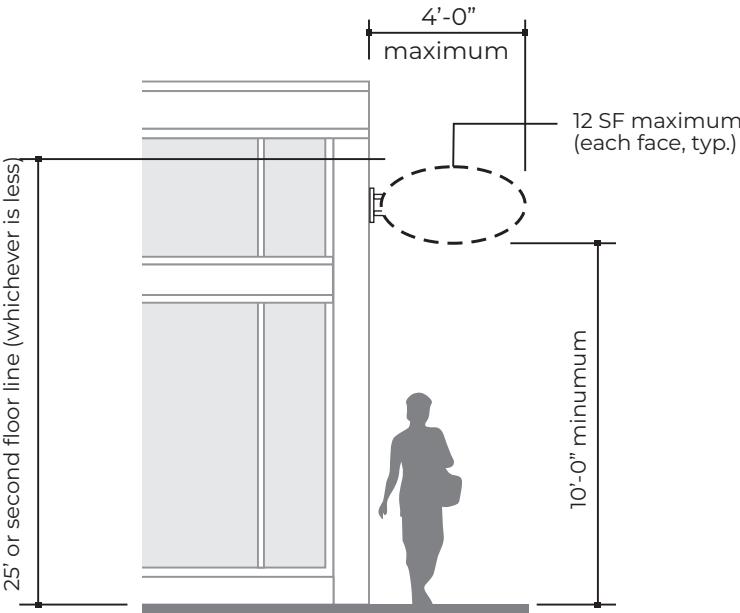
Projection off Wall: 4 FT maximum

Size: 12 SF maximum (in addition to square footage allotment for other retail sign types)

Mounting Height: 10 FT minimum to bottom of sign, to align with architectural elements

- Illumination:**
- External spot lighting
 - Halo illumination of letters
 - Internal illumination of letters (sign background must be opaque)

Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.



STOREFRONT WINDOW GRAPHICS EXAMPLES



Storefront Window Graphic are to be hand-painted or computer-cut vinyl applied to the storefront glass

Design: Graphic elements and text/logo shall be coordinated with mullion pattern.

Size: All window signage combined shall not exceed 25% of the glazed area (in addition to square footage allotment for other retail sign types).

Door Graphic: Hours of operation, if needed, shall be located at the primary entry door, in a font compatible with the store branding with letters at a maximum of 1 inch.

Phone numbers, advertisements, notices and credit card decals are not allowed.

Illumination: ambient

Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.



Graphic maximum size is not to exceed 25% of glazing area

SECTION 04 Site Signage Exhibits

- 04 1 Wall Mounted community Identification
- 04 2 Bridge Mounted Community Identification
- 04 3 Community Entrance Identification Icon
- 04 4 Community Entrance Tenant Identification Monument
- 04 5 Vehicular Directional Signage
- 04 6 Digital Pedestrian Wayfinding Directory
- 04 7 Interpretive Wall Mural Graphic
- 04 8 Community Interpretive Signage
- 04 9 Temporary / Seasonal Banner Signage

COMMUNITY IDENTIFICATION SIGNAGE EXAMPLES



Quantity: 1 (signtype / location A1-01)

Location: Located at Landmark Street and N. Van Dorn campus entry point, final locations to be determined

Usage: Sign to identify project entry points.

Design: Final design will be unique to the community signage standards and will be coordinated and compatible with campus wayfinding.

Size: Maximum Size: 200 SF

Fabrication: All aluminum construction with steel structure, painted finish with routed and push-thru acrylic graphics

Illumination: Internally illuminated logo/copy with ground mounted accent lighting.

The drawings and images in this section are for illustrative purposes only, to show typical conditions, and are not specific design solutions. Individual sign design solution will be developed for their specific location and identity application, to include appropriate height, width, and material finishes and will conform to the overall sign area square footage allocations identified in the Coordinated Sign Program.

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Scale: 1/16"=1'-0"



Scale: 1/8"=1'-0" A1 00

FACADE MOUNTED COMMUNITY IDENTIFICATION SIGNAGE EXAMPLES



Quantity: 2 (signtype / locations A2-01-A2-02)

Location: Located at pedestrian bridge span over Alex Way parking garage entry point, as well as on Terrace Park pedestrian bridge over Landmark Street, final locations to be determined

Usage: Sign to identify project community brand.

Design: Final design will be unique to the community signage standards and will be coordinated and compatible with overall campus identity signage program.

Size: Maximum Size: 175 SF

Fabrication: Individual channel letters attached to decorative metal structure with painted aluminum finish and backlit acrylic faces.

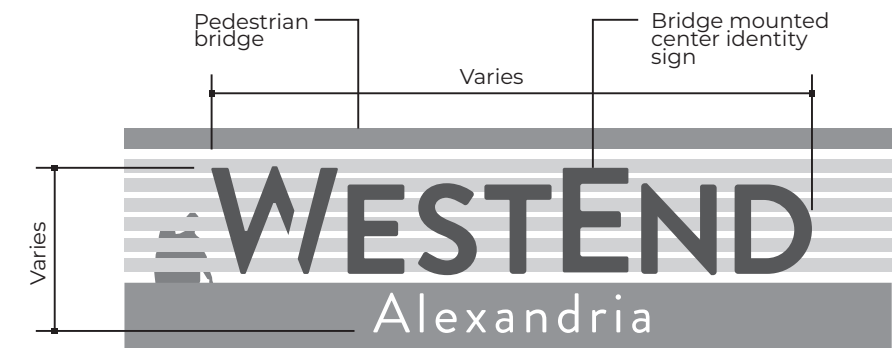
Illumination: Intenally illuminated logo/copy with face and halo accent lighting.

The drawings and images in this section are for illustrative purposes only, to show typical conditions, and are not specific design solutions. Individual sign design solution will be developed for their specific location and identity application, to include appropriate height, width, and material finishes and will conform to the overall sign area square footage allocations identified in the Coordinated Sign Program.

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Scale: 1/16"=1'-0"



Scale: 1/8"=1'-0" A2 00

PROJECT ENTRANCE IDENTIFICATION ICON EXAMPLES



Quantity: 4 (signtype / locations A4-01 – A4.06)

Location: Located at primary campus entry points, as well as Central Park, final quantity and locations to be determined

Usage: Dimensional icon to identify project primary entry points.

Design: Final design will be unique to the community signage standards and will be coordinated and compatible with campus wayfinding.

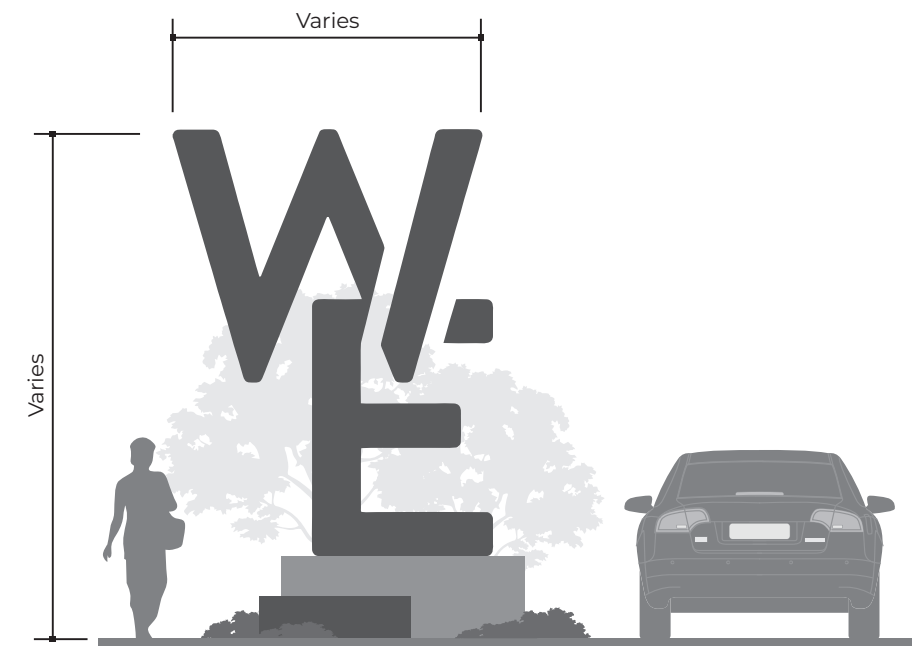
Size: Maximum Size: 120 SF

Fabrication: All aluminum construction with steel structure with painted, brushed or polished metal finish.

Illumination: Internally illuminated logo icon with ground mounted accent lighting.

The drawings and images in this section are for illustrative purposes only, to show typical conditions, and are not specific design solutions. Individual sign design solution will be developed for their specific location and identity application, to include appropriate height, width, and material finishes and will conform to the overall sign area square footage allocations identified in the Coordinated Sign Program.

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Scale: 3/16"=1'-0" A4 00

PRIMARY TENANT IDENTIFICATION SIGNAGE EXAMPLES



Note: The drawings and images in this document are for illustration purpose only. They are to display typical conditions, and are not specific design solutions.



Quantity: 5 (signtype / locations A4-01 – A4-05)

Location: Located at key campus entry point, final quantity and locations to be determined

Usage: Sign to identify project primary and secondary Tenants represented in community.

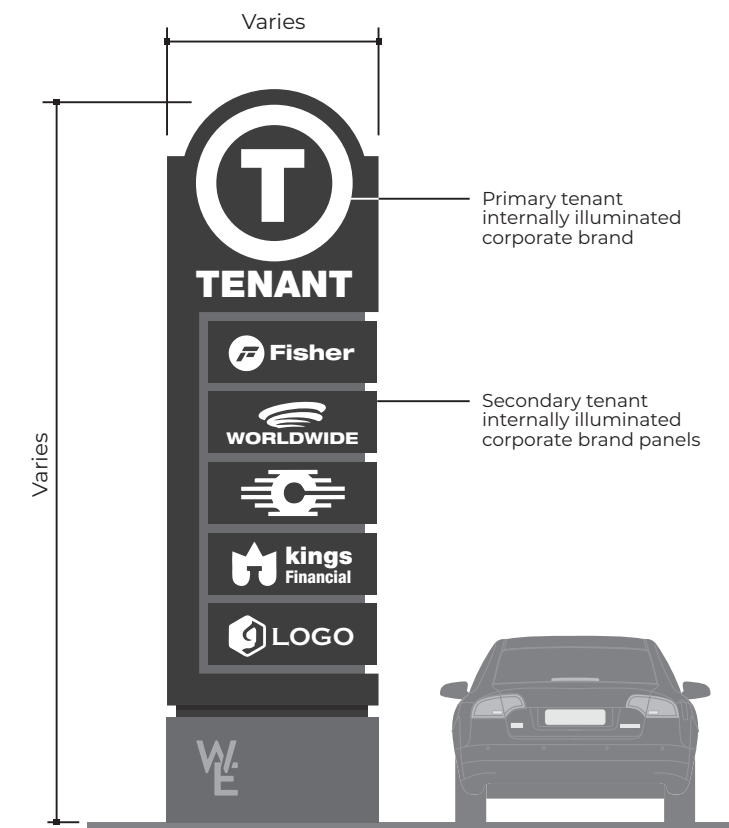
Design: Final design will be unique to the community signage standards and will be coordinated and compatible with campus wayfinding.

Size: Maximum Size: 120 SF

Fabrication: All aluminum construction with steel structure, painted finish and routed and push-thru acrylic graphics

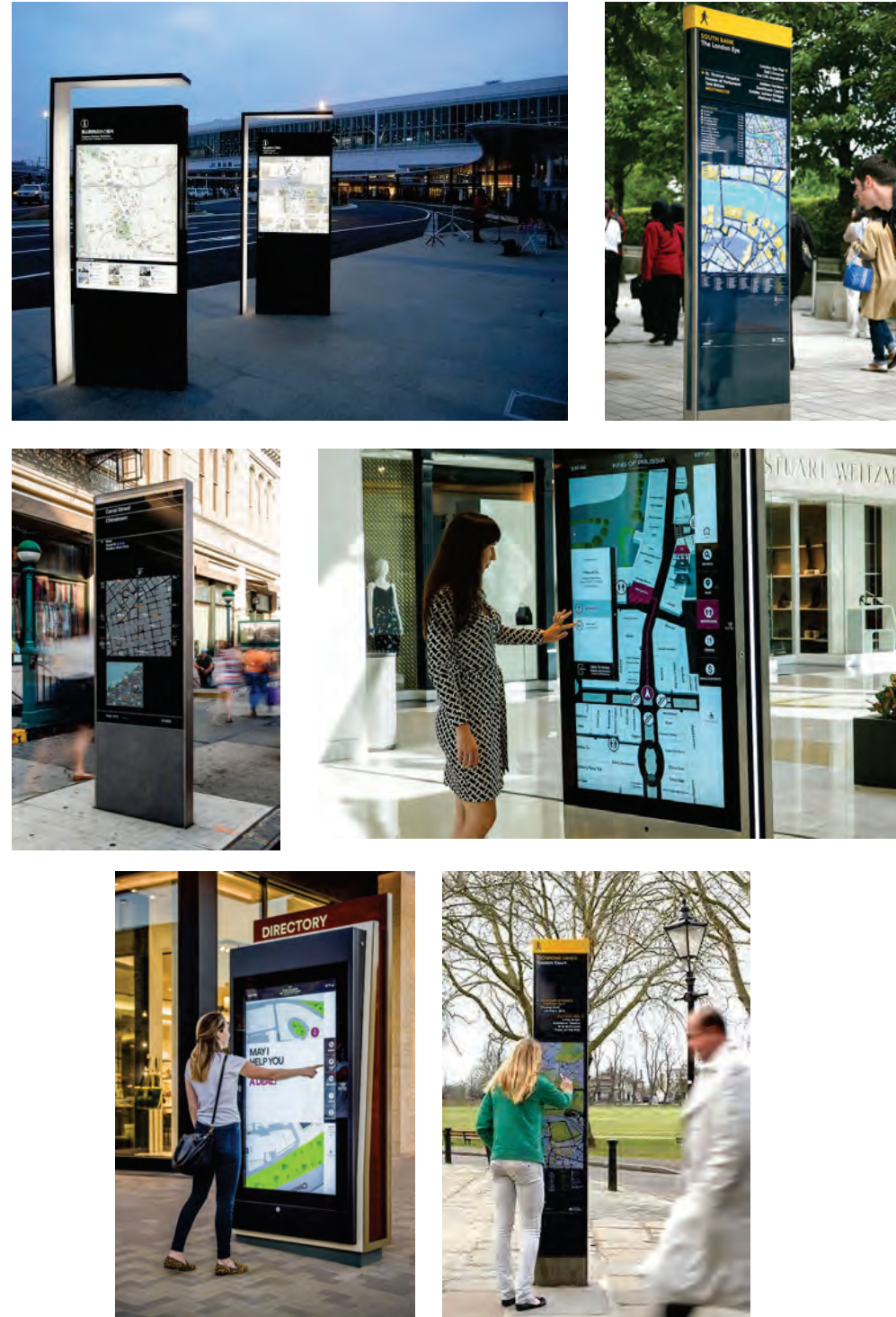
Illumination: Intenally illuminated logo/copy with ground mounted accent lighting.

The drawings and images in this section are for illustrative purposes only, to show typical conditions, and are not specific design solutions. Individual sign design solution will be developed for their specific location and identity application, to include appropriate height, width, and material finishes and will conform to the overall sign area square footage allocations identified in the Coordinated Sign Program.



Scale: 3/16"=1'-0" A5 00

DIGITAL PEDESTRIAN DIRECTORY EXAMPLES



Display Operational Parameters:

Content and operation of the digital display will be overseen by the Business Improvement District.

The duration of content shall not be less than eight seconds and the transition between content shall not be greater than two seconds.

No content promoting tobacco, firearms, or pornography will be displayed.

70% of the annual time on the display(s) will be dedicated to orientation map, art, community-driven content, and event information.

30% of the annual time on the display(s) will be dedicated to advertising content.

Except for limited auditory functions to provide information to those who are visually impaired, no auditory components are permitted for pedestrian map kiosks with digital displays.

Hours of operation: 5:00AM – 1:00AM

Display Luminance:

The displays shall not exceed the maximum allowable luminance of 350 nits during operational hours between sunset and sunrise, and 3000 nits during operational hours between sunrise and sunset.

The displays shall have a photocontrol switch that automatically adjusts the brightness of the display based on ambient light conditions and reduces light levels at night and under cloudy/darkened conditions.

The displays shall also have an automatic time-switch control with back-up power and an accessible dimmer for manual corrections as needed.

Quantity: 12 (signtype / locations L1-01 -L1-12)

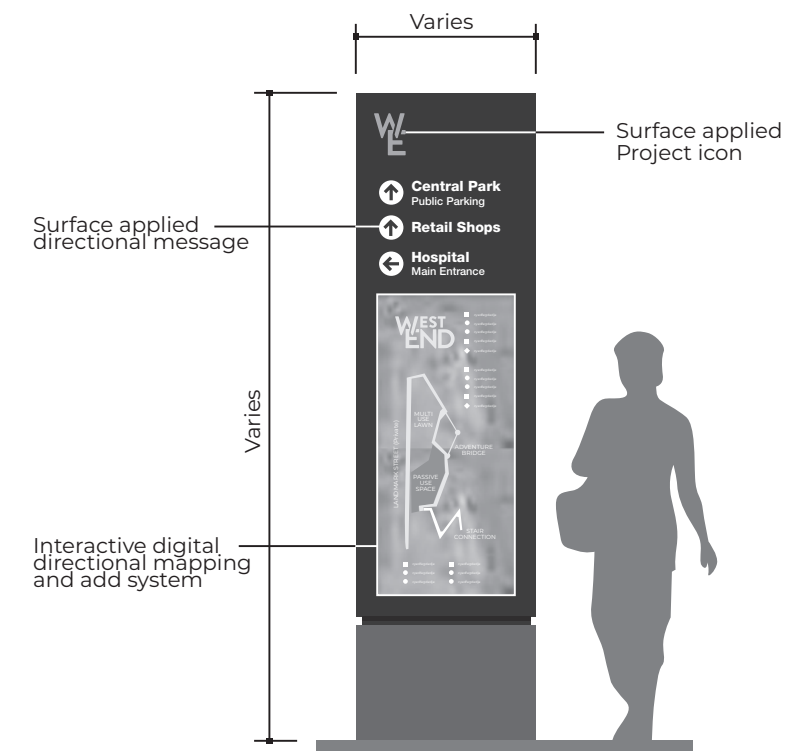
Locations: Located in public gathering areas or decision points where orientation and site information is helpful

Cabinet Design: Two-sided painted aluminum or natural metal with lockable display case for static information display or integrated digital information display. The digital display may be interactive.

Size: Maximum size: 30 SF

Illumination: in addition to a potential digital display component, the kiosk may include internal or indirect illumination of the map and information display, internal illumination of lettering, and decorative indirect illumination to create a beacon.

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Scale: 3/8"=1'-0" **L1 00**

PEDESTRIAN WAYFINDING STANCHION EXAMPLES



Quantity: 10 (signtype / locations M1-00-M1-10)

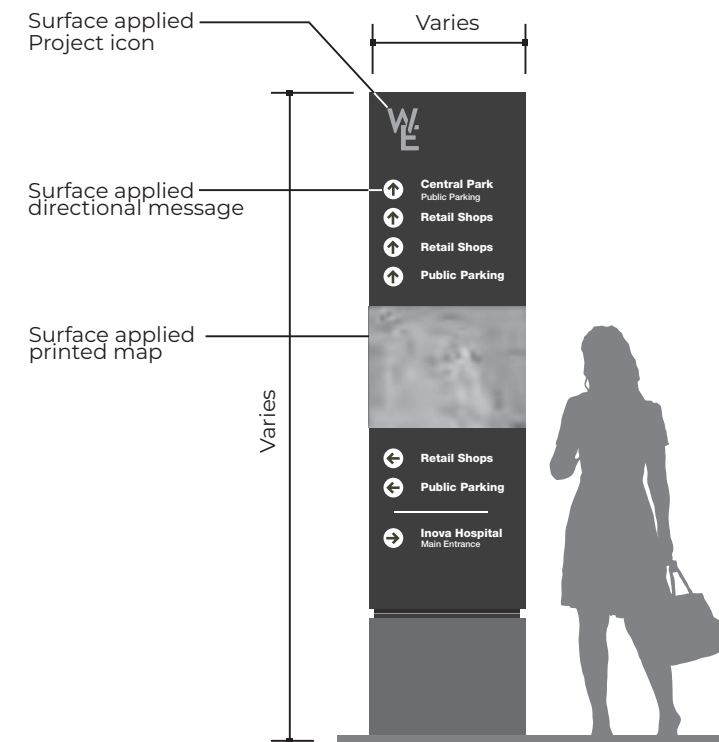
Locations: Located in public gathering areas or decision points where orientation and site information is helpful

Cabinet Design: Two-sided painted aluminum or natural metal with surface applied map and directional messages.

Size: Maximum size: 30 SF

Illumination: Ambient

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Scale: 3/8"=1'-0" M1 00

DIGITAL / HAND PAINTED WALL MURAL EXAMPLES



Note:

Murals without neighborhood names shall not count towards the signage square footage maximum.

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Quantity: 5 locations, full wall height elevations (Reference site plan for areas of full height wall mural opportunities. Interpretive artwork TBD)

Locations: Interpretive murals to be located along east and south wall elevations of block (I). Murals also to be applied at interior parking garage entries from Tucker St., Alex Way, and Verve St. respectively.

Materials: Murals to be applied to wall surfaces that have been prepped, primed and painted with two coats of project approved epoxy paint. After mural has been painted, using clean roller or compressor, apply several coats of masonry sealer, letting the sealer dry completely between coats.

Mural Design: Interpretive murals to be non descriptive in nature and provide recognition to local Alexandria Virginia history and / or on-site elements and features.

Size: Maximum size: Reference individual approved DSUP plan dimensions for linear wall lengths.

Illumination: Ambient and wall wash type projected illumination.



Hand painted or applied graphic

COMMUNITY INTERPRETIVE SIGNAGE EXAMPLES



Quantity: 10 (signtype / locations S1.00-TBD) Staff has the ability to approve and install more than 10 if deemed necessary.

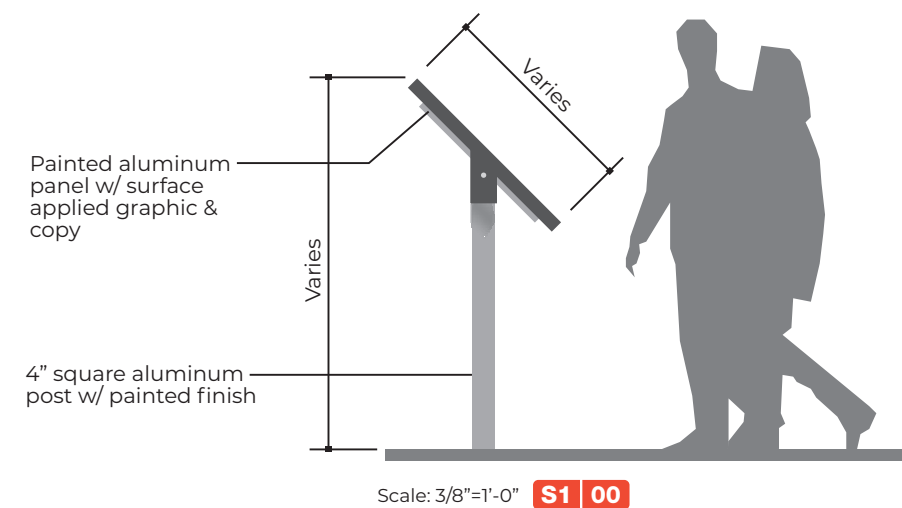
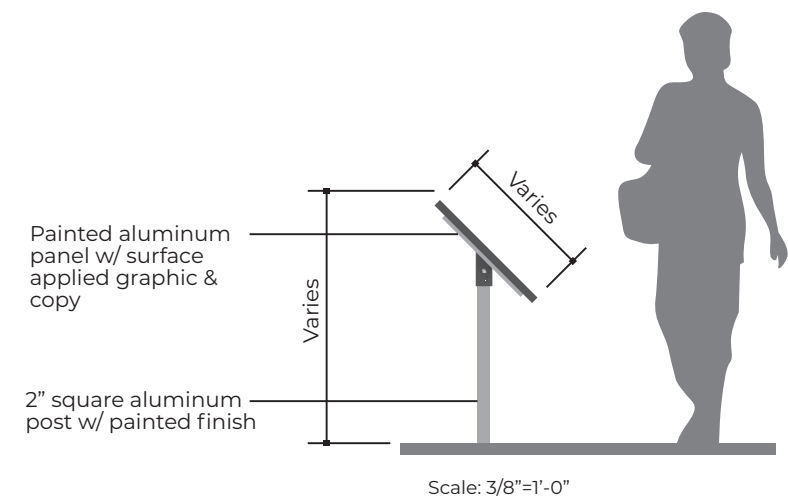
Locations: Located in public spaces or points of interest throughout campus to include community park and trail system where interpretive information can be enjoyed.

Post & Panel Design: Single-sided painted aluminum or natural metal with surface applied graphic and interpretive messages. Panels configured on post installation to enhance public viability.

Size: Maximum size: Varies, 10SF small panel - 20 SF large panel.

Illumination: Ambient

Note: Community Interpretive Signage shall be consistent with the City's wayfinding standards.



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TEMPORARY / SEASONAL BANNER EXAMPLES



Quantity: Varies (banner / locations -TBD)

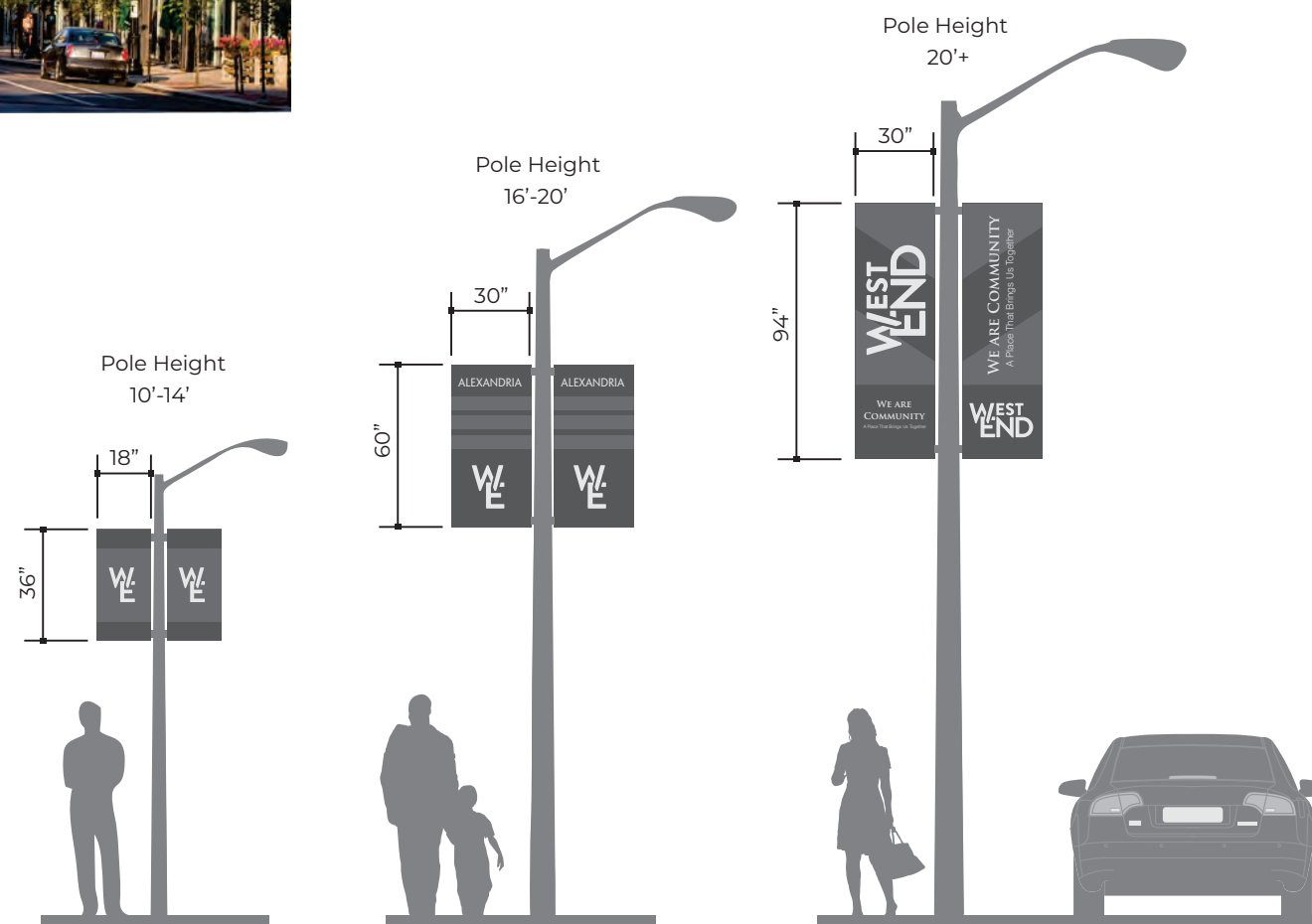
Locations: Located on light poles on public or private streets or points of interest throughout campus to include community park and trail system where seasonal or special event information can be enjoyed.

Banner Design: Double sided, non translucent, double hemmed, fabric banners with colorful graphic.

Size: Maximum size: Varies, 18"x36" banner at 10-14' pole heights, 30"x60" banner at 16'-20' pole heights, 30"x94" banners at 20' or taller pole heights.

Illumination: Ambient

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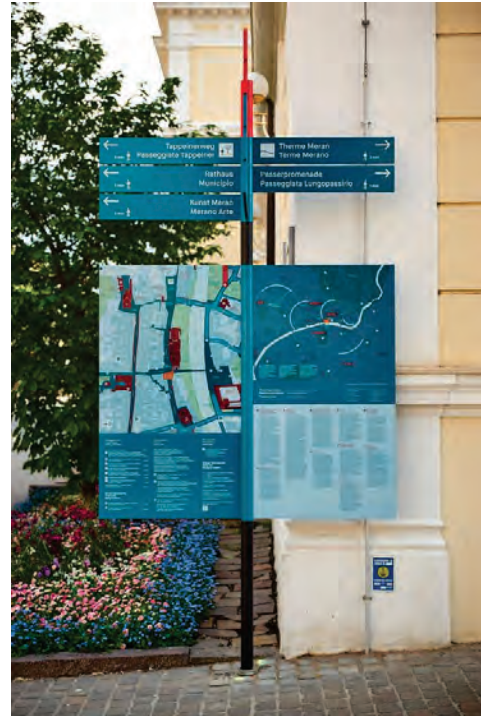


Scale: 3/16"=1'-0" T1 00

SECTION 05 Park & Trail Signage Exhibits

- 05 1 Park & Trail Pedestrian Directional
- 05 2 Park & Trail Rules & Regulations
- 05 3 Pedestrian Trail Markers

PEDESTRIAN DIRECTIONAL EXAMPLES



Quantity: 7 (signtype / locations O1.00-TBD)

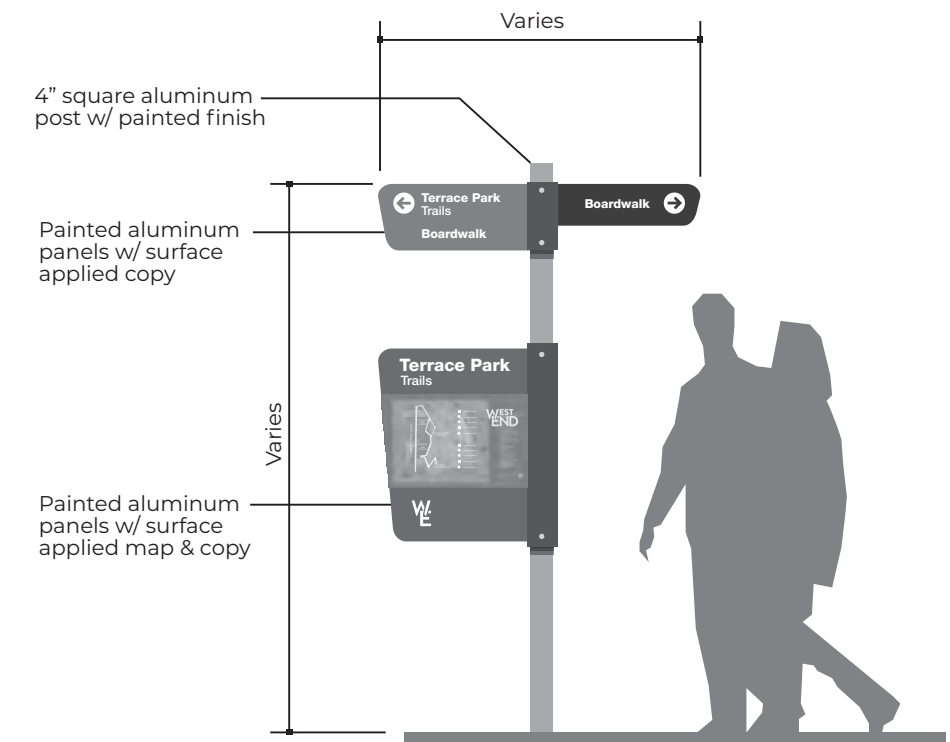
Locations: Located in public gathering areas or decision points at community parks and trail heads where orientation and site information is helpful

Post & Panel Design: Two-sided painted aluminum or natural metal with surface applied map and directional messages. Panels configured on post installation to enhance direction messaging.

Size: Maximum size: 20 SF

Illumination: Ambient

The drawings and images in this section are for illustrative purposes only, to show typical conditions, and are not specific design solutions. Individual sign design solution will be developed for their specific location and identity application, to include appropriate height, width, and material finishes and will conform to the overall sign area square footage allocations identified in the Coordinated Sign Program.



Scale: 3/8"=1'-0" N1 00

PEDESTRIAN PARK/TRAIL INFORMATION SIGNAGE EXAMPLES



Quantity: 8 (signtype / locations P1.00-TBD)

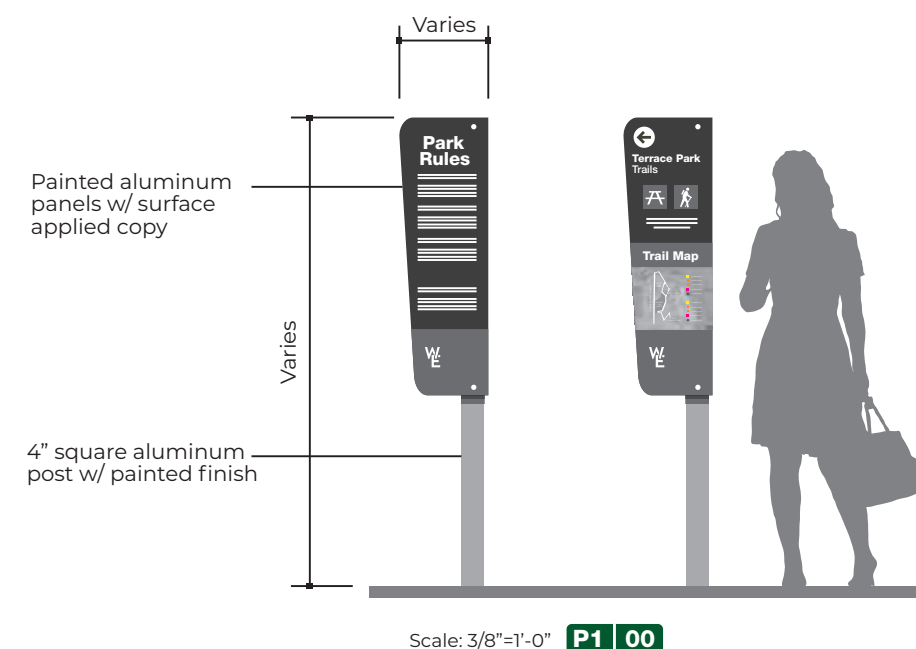
Locations: Located in public gathering areas or decision points at community parks and trail heads where orientation and site information is helpful

Post & Panel Design: Two-sided painted aluminum or natural metal with surface applied map and directional messages. Panels configured on post installation to enhance direction messaging.

Size: Maximum size: 20 SF

Illumination: Ambient

The drawings and images in this section are for illustrative purposes only, to show typical conditions, and are not specific design solutions. Individual sign design solution will be developed for their specific location and identity application, to include appropriate height, width, and material finishes and will conform to the overall sign area square footage allocations identified in the Coordinated Sign Program.



PEDESTRIAN TRAIL MARKER EXAMPLES



Quantity: 20 (signtype / locations Q1.00-TBD)

Locations: Located in public gathering areas or decision points at community parks and trail heads where orientation and site information is helpful

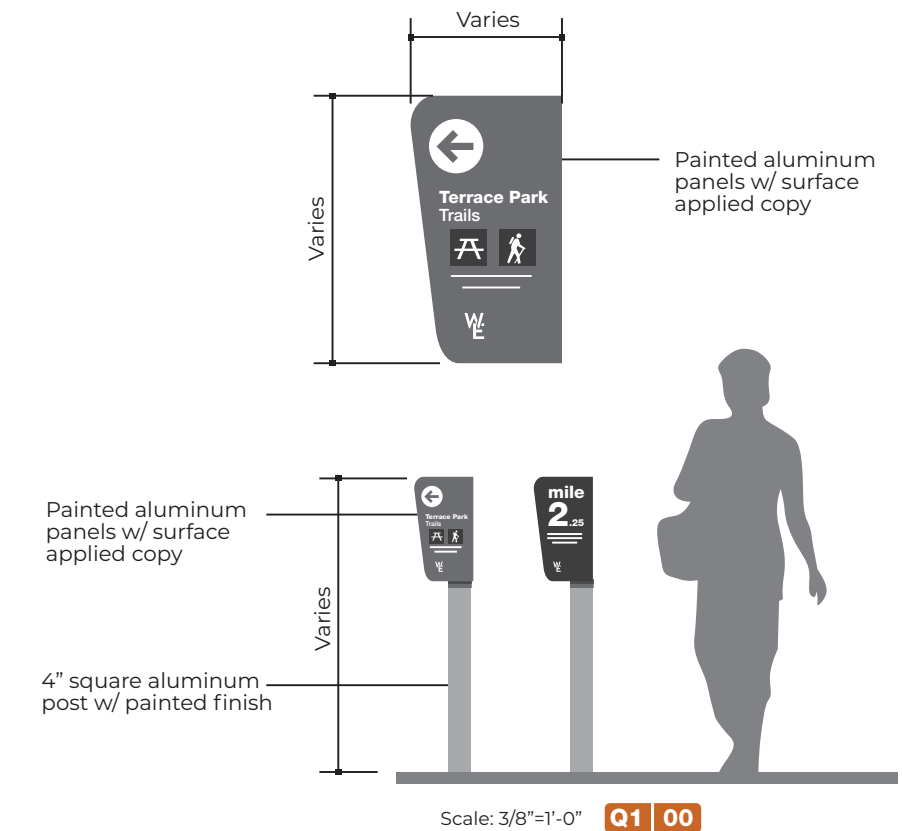
Post & Panel Design: Two-sided painted aluminum or natural metal with surface applied map and directional messages. Panels configured on post installation to enhance direction messaging.

Size: Maximum size: 5 SF

Illumination: Ambient

Placement: Trail markers are to be placed every 1/10th mile to align with emergency services system.

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SECTION 06 Signage Tracking Tables

- 06 1 Signage Tracking Table - Blocks (D & E1)
- 06 2 Signage Tracking Table - Blocks (E2 & F)
- 06 3 Signage Tracking Table - Blocks (G & H)
- 06 4 Signage Tracking Table - Blocks (I & J)
- 06 5 Signage Tracking Table - Blocks (K & L1)
- 06 6 Signage Tracking Table - Blocks (M & N)
- 06 7 Signage Tracking Table - Blocks (P & R)
- 06 8 Signage Tracking Table - Block (S)

BLOCK D SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

TBD

BLOCK E1 SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	B1 00	Wall Mount	Westend Blvd. North Elevation	01	20'-0"	4'-0"	80SF	230LF	450SF	A maximum of two signs per building on opposing elevations except blocks E,G & I
	C1 00	Wall Mount	Westend Blvd. North Elevation	01	18'-0"	3'-0"	54SF	230LF	450SF	
	A2 00	Bridge Mount	Westend Blvd. North Elevation	01	40'-0"	4'-0"	160SF	230LF	450SF	
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										
	D1 00	Wall Mount	Tucker Street West Elevation	01	20'-0"	4'-0"	80SF	230LF	450SF	
	D1 00	Wall Mount	Tucker Street West Elevation	01	20'-0"	4'-0"	80SF	230LF	450SF	
	C1 00	Wall Mount	Tucker Street West Elevation	01	18'-0"	3'-0"	54SF	230LF	450SF	

SAMPLE

BLOCK E2 SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

BLOCK F SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

BLOCK G SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

BLOCK H SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

BLOCK I SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

BLOCK J SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

BLOCK K SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

BLOCK LI SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

BLOCK M SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

BLOCK N SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

BLOCK P SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

BLOCK R SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

BLOCK S SIGNAGE TRACKING TABLE

	SIGN ID	SIGN TYPE	LOCATION	QTY:	MAX LENGTH	MAX HEIGHT	SQUARE FOOTAGE	BUILDING FRONTAGE	LOT FRONTAGE	NOTES:
NORTH ELEVATION	00 00	ABC	ABC ABC	00	00	00	00SF	00LF	00LF	ABC ABC
SOUTH ELEVATION										
EAST ELEVATION										
WEST ELEVATION										

TBD

WESTEND

Alexandria

Thank You

PLEASE NOTE

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FASHIONED AND ASSEMBLED BY

Gable

June 16, 2023

Jared Alves, AICP
Alexandria Planning & Zoning
301 King Street, Room 2100
Alexandria, Virginia 22314

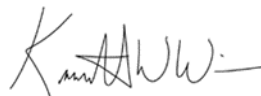
Re: SUP#2023-00011 – West End (Landmark) Comprehensive Sign Plan – Response to
Second Submission Comments, Third Submission

Dear Jared,

On behalf of my client, Landmark Land Holdings LLC c/o Foulger Pratt (the “Applicant”), the enclosed submission includes a response letter to Staff’s comments dated May 10, 2023 and revised sign plans. The Applicant met with Staff regarding the comments and the enclosed submission reflects that discussion. The Applicant looks forward to a September public hearing.

Please let me know if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Kenneth W. Wire". The signature is written in a cursive style with a horizontal line at the end.

Kenneth W. Wire

cc: Robert Kerns, AICP, Division Chief, Development, P&Z
Maya Contreras, Principal Planner, Development, P&Z
Brian Dofflemyer, Development Services, T&ES
Donna Ferguson, Engineering Aide II, T&ES

Please respond to the following comments:

PLANNING & ZONING

Findings:

1. P&Z deems the submission **incomplete**.

Response: Acknowledged.

2. Staff acknowledges and accepts the request for 1 SF per linear foot of the Block S existing garage.

Response: Acknowledged.

3. Staff acknowledges and appreciates that you have removed the K1 00 Vehicular Directional Signage per our previous comments.

Response: Acknowledged.

4. Staff acknowledges that you have added T1 00 Temporary/Seasonal Banner Signage per our previous comments.

Response: Acknowledged.

Completeness:

5. **Revised repeat comment:** Include an example block tracking table showing the allowed signage for each side of the block. This table would be different than the Signage Square Footage Allocation Table (p. 7) as it would be used to track individual sign permit applications against the maximum square footage allowance for each block face. The comment response letter states that tracking tables were provided with this submission, but they were not.

Response: A tracking table has been added to the submission on pages 59-66.

6. The Signage Square Foot Allocation Table (p. 7) has a typo for Block K, West. It should be 384 instead of 640.

Response: Page 7 has been updated.

7. Revise the wording of the Signage Quantity paragraph for B1 00 Building Top/Façade Signage (p. 25). Simply state the maximum number allowed per Block.

Response: A table has been added to pg. 25 for clarity.

8. **Revised repeat comment:** define “Entrance identity sign” in the Signage Quantity paragraph for E1 00 Major Building Entrance – Blade Signage (p. 31) by referring to the specific sign types, e.g., C1 00, that constitute entrance identity signs. Revise the

descriptions on this sheet as the text in the first paragraph is the same as the text in the Signage Substitution paragraph.

Response: The wording on pg. 31 has been updated to define “Entrance identity sign.”

Non-Completeness:

If not reconciled with the next submission, these comments will be subject to future conditions of approval:

9. Staff do not support allowing 1.5 SF per linear foot for single-use blocks and instead would limit these blocks to 1 SF per linear foot (per p. 7 note).

Response: Acknowledged, Applicant agrees to this with the understanding that in the event a current single-use block is developed as a mixed-use block, it would be allowed 1.5 sf per linear feet of signage.

- a. Without additional uses in the block, Staff do not agree that additional signage beyond the maximum allowed by the Zoning Ordinance would provide a greater benefit to the public.

Response: Acknowledged.

- b. Staff do support 1.5 SF per linear for mixed use blocks and up to 2 SF per linear foot for exceptional signage subject to administrative approval.

Response: Acknowledged.

10. Staff do not support excluding signs mounted above 25-ft. from counting towards the maximum allowed square footage for each block (per p. 7 note). Allowing up to 1 SF per linear foot more than the Zoning Ordinance maximum provides sufficient opportunity to install signage at all heights, including above 25-ft. without needing this extraordinary exception.

Response: Acknowledge; the referenced note has been removed on page 7.

11. Per the comment response letter, add a note to the Signage Square Foot Allocation Table stating that if Block L2 or Block M develop as townhouses, then the maximum allowed signage will be one monument sign, as defined by the Zoning Ordinance, per vehicle entrance to the block.

Response: A note has been added to the signage square foot allocation table.

- a. Remove the C1 00 Major Building Entrance and B1 00 Primary Building Identification icons from the Blocks L2 and M townhouse pages (p. 7, 17, and 18).

Response: C100 and B100 signs have been removed on the townhome pages.

12. The comment response letter stated that you are not seeking banners for B2 00 Parking Garage Façade Signage (p. 27), but the description still states: “Garage façade signage may also be comprised of vertical or horizontal, static banner elements to display Tenant branding or advertising.” Per the comment response letter, please remove this sentence from the next submission.

Response: The Applicant does not seek to exclude banners. The Applicant has updated the note on page 27 to exclude advertising on B2 00 signs.

13. Staff acknowledges the Waterside District example, but we still do not support the proposed F1 00 Parking Structure Digital Marquee (p. 33) at the West End site as I-395 is an auxiliary interstate highway distinct from the Rt. 337 in Norfolk. Staff remain concerned that the sign represents a significant distraction for motorists. In addition, the Zoning Ordinance expressly prohibits these types of signs and allowing one in this location through this SUP would not provide a greater benefit to the public than the signage otherwise allowed by the ordinance.

Response: The Applicant seeks to keep the F1 00 digital marquee signage. The Applicant understands Staff’s concerns about driver safety; however, multiple studies have indicated that digital signs do not pose any more of a threat to driver safety than static signs. The Applicant will continue to work with staff to alleviate safety concerns and will work with VDOT to gain necessary approvals for the digital sign fronting I-395. The Applicant believes that this sign can provide a greater community benefit than if it were prohibited.

14. Staff do not support the A3 00 Community Entrance Identification Monuments (p. 46). The comment response letter stated that the sign type would be removed, but it remains in this submission.

Response: A3 00 has been removed from the signage plan.

15. Staff do not support having six A4 00 Community Entrance Identification Icons (p. 47). Staff supports having one along Duke Street and one in an open space block. The A1 00 Wall Mounted Community Identification Signage proposed for the intersection of N Van Dorn Street and Landmark Street means that an A4 00 sign is not necessary at that location.

Response: Applicant has reduced the number of A4 00 proposed locations. We have included 2 potential locations of A4 00 at the Duke and Alex Way intersection; however, applicant proposes to install 1 sign at the intersection.

16. Staff do not support the A5 00 Community Entrance Tenant Identification Monument (p. 48). The design is not compatible with the vision of an urban neighborhood at the West End. In lieu of these signs, staff continues to support significant tenant signage facing I-395 on the Block S existing garage as well as additional building signage beyond the maximums allowed in the Zoning Ordinance.

Response: The A5 00 is critical for retailers given that they are located deep in the site. Like the Mosaic District, the surrounding neighborhood remains a car centric, suburban

environment. Utilizing the A5 00 sign will draw cars into the site to patronize the retailers. The applicant would like to propose a sunset provision of 20 years after which the signs will be removed.

17. Staff supports excluding neighborhood names from counting towards the signage square footage for R1 00 Interpretive Wall Murals (p. 51). Staff do not support including retail tenant signage in the murals.

Response: Acknowledged.

18. Staff do not support excluding S1 00 Community Interpretive Signage (p. 52) from aligning with the City's Wayfinding Signage System, as these types of signs are standardized across the city in public and private sites to ensure visitors can spot and appreciate them.

Response: The note on p. 52 has been added to align the S1 00 signs with the City's wayfinding signage system.

- a. Staff appreciates that you have agreed to align the G1 00 Structure Parking Entrance and H1 00 Loading Dock Identity Signage with the Wayfinding Signage System.

Response: Acknowledged.

- b. Staff accepts that the signage for M1 00 Pedestrian Wayfinding Directional (p. 50), N1 00 Park & Trail Pedestrian Directional (p. 55), P1 00 Park and Trail Rules and Regulations (p. 56), and Q1 00 Pedestrian Trail Markers (p. 57) may be customized for the site.

Response: Acknowledged.

RECREATION, PARKS, & CULTURAL ACTIVITIES

Findings:

19. Coordinate with the Office of Historic Alexandria to create the sign content for the interpretive signs.

Response: Acknowledged.

Non-Completeness Comments:

If not reconciled with the next submission, these comments will be subject to future conditions of approval:

20. Adding a talking feature to interpretive signs can greatly enhance accessibility for users, especially those with visual impairments or reading difficulties. Users can engage with the content more comprehensively and inclusively by providing an audio component. Provide content topics for the interpretive signage.

Response: The S1 00 site interpretive signage will align with the City Wayfinding signage system.

21. Terrace Park is oversaturated with interpretive signs. Reduce the number of interpretive signs shown in Terrace Park.

Response: The Applicant has limited the number of interpretive signs to ten.

22. Add rules and regulation signs and/or kiosks at each end/entrance of the Central Park blocks and the Paseo.

Response: Per previous comment response, the Applicant does not seek rules and regulations signs in the parks that are to be maintained privately (Central Park blocks and the Paseo) as they may detract from the overall urban design, character and aesthetic of the areas.

23. Include maps of the open space or larger development in the digital directory maps. Including a map to aid in the wayfinding of the site.

Response: Please see pg. 49. An interactive digital map will be provided on the digital directory signs, L1 00.

24. Provide a placeholder pedestrian wayfinding directional sign along Terrace Park and N Van Dorn Street with information about the more extensive open space network beyond the Landmark site. There are plans for further improving and connecting the open space at Landmark Mall to the adjacent open space network, and a future sign would help inform users of the network. This sign will be installed when the improvements and connections are completed.

Response: N1 00 has been provided for pedestrian wayfinding directional and can be modified to include the future, adjacent open space network.

25. Provide the spacing of the mile markers through Terrace Park. Staff recommends spacing to be every tenth of a mile to align with the emergency services systems.

Response: Acknowledged.

26. Extend the mile markers throughout the open space to create a circuit.

Response: Acknowledged.

TRANSPORTATION & ENVIRONMENTAL SERVICES

No comments