

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Mark Boswell

LOCATION: Old and Historic Alexandria District
229 South Payne Street

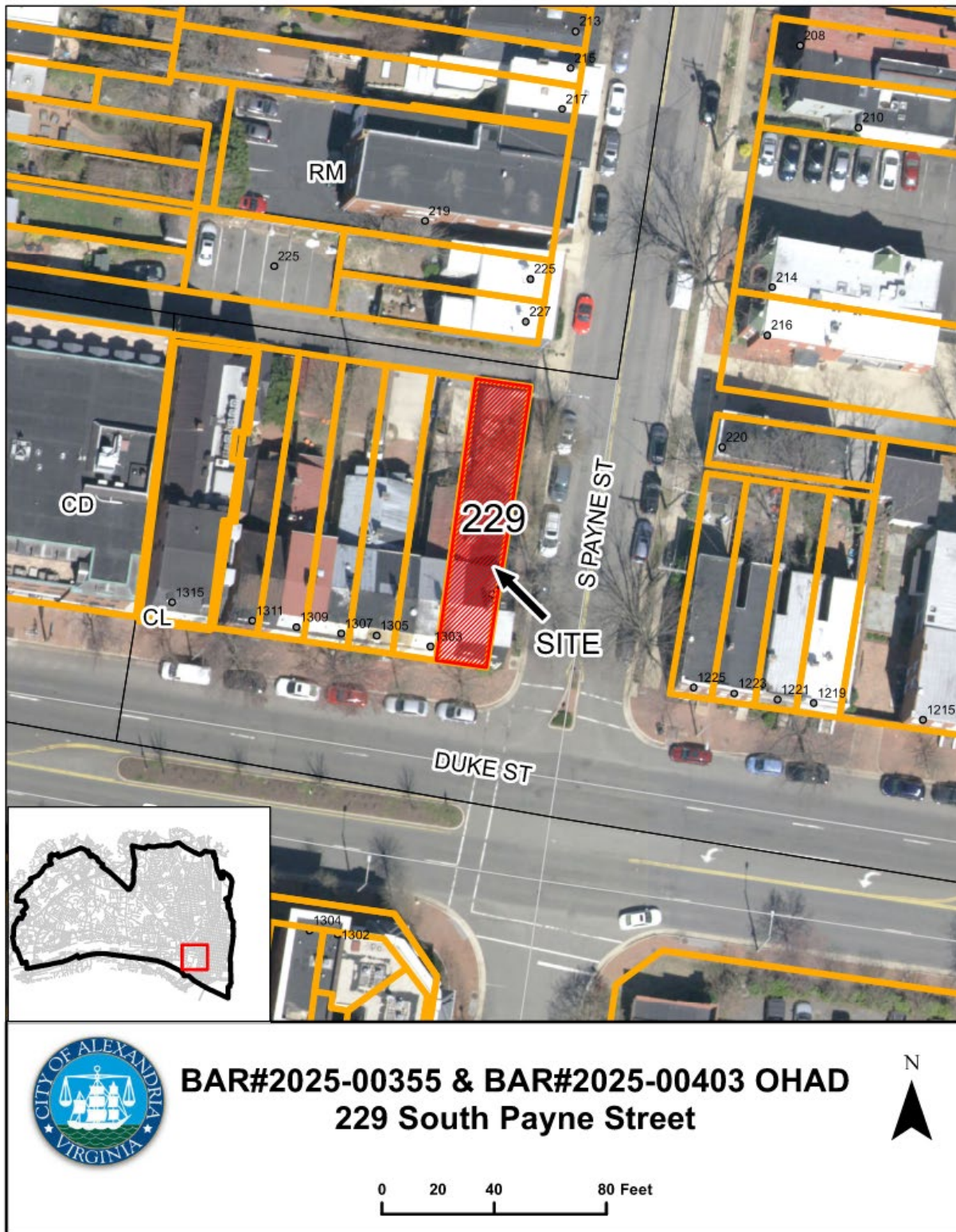
ZONE: CL/Commercial Low Zone

STAFF RECOMMENDATION

Staff recommends **approval** of the Permit to Demolish/Capsulate (partial) Certificate of Appropriateness for alterations as submitted

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



I. APPLICANT'S PROPOSAL

The applicant is requesting a Permit to Demolish (partial) to enlarge the patio doors at the rear/north elevation and add two skylights on the ell metal roof, and a Certificate of Appropriateness to replace the ell metal roof in-kind.

Permit to Demolish/Capsulate

The project consists of demolishing 32 square feet of the rear/north ell elevation wall to accommodate three new aluminum clad wood doors (minimally visible from the public way) and approximately 8.6 square feet of the ell's metal roof to add two skylights.

Certificate of Appropriateness

The applicant is proposing to replace the existing standing seam metal roof in-kind and add two new VELUX fixed skylight matching the existing each measuring approximately 2'-7" x 1'-6" (there will be three skylights in total, as there is one already in place). Furthermore, the existing double patio door will be replaced with 3 doors (one swinging and two fixed) aluminum clad, Low-E. The project also includes the gutter replacement which is not under the BAR purview.

Site context

The subject property sits on the northwest corner of the South Payne and Duke intersection. There is a public alley running adjacent to the property rear. The rear/north elevation of the property is minimally visible due to a tall fence and garden wall; the skylights will be visible (Figure 1).



Figure 1 - Visibility from South Payne St

II. HISTORY

Built by Thomas Swan in **1870**, this building is the last on the easternmost edge of the six rowhouse complex at the corner of South Payne and Duke streets. The buildings feature mansard roofs with dormers and corbelled masonry cornices.

According to the Alexandria Gazette, April 9, 1870, "local brevities" section, "The six new two-story brick buildings commenced by Mr. Thomas Swan on the site of the prison known during the War as the "Slave Pen" on Duke Street, are in rapid progress of erection."

Furthermore, the Alexandria Deed Books 4/452 Jan. 20, 1875: "Thomas Swan and wife. Bond for \$2,000 to John S. Chapman, Commissioner of the Corporation Court. The property fronting 98 feet on Duke and 100 feet on Payne, ... together with all the houses and tenements thereon..."

Previous BAR Approvals

Staff did not find any approval for this property.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

Staff does not believe that the proposed demolition rises to a level that meets any of the above criteria. The proposed demolition does not remove any portion of the building containing character-defining features of uncommon design or historic merit and does not compromise the integrity of the building. Thus, staff has no objection to the proposed work and recommends the Permit to Demolish be granted as submitted.

Certificate of Appropriateness

The *Design Guidelines* states that “Skylights are used to bring natural light into the interior of a structure. However, they can become visually prominent and may disrupt the historic profile of a roofline. The Board discourages any visual interruption of a historic roof profile caused by skylights. Staff has no objection to the installation of two new skylights on the one-story ell roof since they will not adversely affect the overall integrity of the historic building and can be easily removed in the future.

The *Guidelines* also state that “Windows/doors are a principal character-defining feature of a building, serving both functional and aesthetic purposes.” The applicant is proposing to replace the existing double doors on the rear/north elevation with three aluminum clad doors, two fixed and one operable. Staff has no objection to the proposal since the new doors will not affect the historic integrity of the main building and will be minimally visible from the public alley running behind the property and from South Payne Street. Therefore, staff recommends approval of the project as submitted.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed replacement of exterior rear door, roof replacement, gutter replacement and two new skylights will comply with zoning.

Code Administration

C-1 A building permit is required for review.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley adjacent to the parcel is to be used at any point of the construction process,

the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No archaeology comments

V. ATTACHMENTS

- Application Materials
- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs
- Supplemental Materials
- Public comment, if applicable
- Any other supporting documentation

ADDRESS OF PROJECT: _____

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____

State: _____

Phone: _____

E-mail: _____

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____

Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____

State: _____

Phone: _____

E-mail: _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| ☐ awning | ☐ fence, gate or garden wall | ☐ HVAC equipment | ☐ shutters |
| ☐ doors | ☐ windows | ☐ siding | ☐ shed |
| ☐ lighting | ☐ pergola/trellis | ☐ painting unpainted masonry | |
| ☐ other _____ | | | |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature:  _____

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

Date Printed Name Signature

Project Team

ARCHITECT

Rust Construction
3701B Mount Vernon Ave
Alexandria, VA 22305
703-836-6010

CONTRACTOR

Rust Construction
3701B Mount Vernon Ave
Alexandria, VA 22305
703-836-6010

STRUCTURAL ENGINEER

JVN Consulting
2248 Ontario Road, NW Unit 1
Washington, DC 20009
716-508-0162

CIVIL ENGINEER

INTERIORS

LANDSCAPE ARCHITECT

Surface Materials

Brick - Running

Ceramic Tile - Size Varies

Block - Running

Stone Tile - Size Varies

Parged Concrete

Flagstone Irregular

Shingles/ Shakes

Flagstone Random Rectangular

Metal Roof

Wood Floor/ Siding

Slate Roof

Stone Veneer

Section Materials

Brick

Earth

Poured Concrete

Steel

CMU

Finish Wood

Rubble Stone

Plywood

Fire Brick

Dimensional Lumber

Finish Stone/ Slate

Wood Blocking

Drawing Symbols

1
A2-3

DRAWING
SHEET

1
A2-3

DRAWING
SHEET

1
A2-1

DRAWING
SHEET

1
A3-1

DRAWING
SHEET

1
A5-1

DRAWING OF
FACING WALL
SHEET

12
R

RUN
RISE

TOP OF PLATE
0'-2 1/2"

Level Elevation:
Section/Elevation

8'-0"

Level Elevation:
Plan

Revision

Window

Door

Structure Member

Footing

PROJECT INFORMATION :					
INTERIOR RENOVATION OF FIRST FLOOR TO INCLUDE KITCHEN AND POWDER ROOM IN EXISTING TWO-STORY SINGLE-FAMILY ATTACHED TOWNHOUSE DWELLING WITH ATTIC. REPLACE EXISTING REAR PATIO DOOR, REPLACE EXISTING METAL LOW ROOF AND GUTTERS, ADD TWO SKYLIGHTS AND REPLACE EXISTING SKYLIGHT					
ADDRESS:	229 S. Payne Street Alexandria, VA 22314				
LOCATION:	LOT 505 C-D FOUR NO. 1				
ZONING:	CL				
SETBACKS:	FRONT: 20' OR BLOCK FACE SIDE: 1-3; 8' MIN. ONLY FOR INTERIOR END LOTS >25' WIDE REAR: 1-1; 8'MIN.				
LOT AREA:	1,785 SF MIN LOT SIZE: 1,980 SF FOR TOWNHOUSE				
	ALLOWED:	EXISTING:	PROPOSED:		
BUILDING HEIGHT:	35'	28'-10 1/4"	28'-10 1/4"		
OPEN SPACE:	35%	34.2% (610 SF)	34.2% (610 SF)		
FLOOR AREA RATIO:	1.5 (Townhouse in Old Town)	.985 (1,758 SF/1,785 SF)	.985 (1,758 SF/1,785 SF)		
PARKING:	0 SPACES REQ'D (Enhanced Transit Area)	0 SPACES	0 SPACES		
17.85' LOT WIDTH MIN. LOT WIDTH 18' FOR INTERIOR LOT, 26' FOR END LOT					
BUILDING AREA:					
	EXISTING:	PROPOSED:			
FIRST FLOOR AREA:	1,037 SF	1,037 SF			
SECOND FLOOR AREA:	580 SF	580 SF			
ATTIC FLOOR AREA:	449 SF	449 SF			
TOTAL FLOOR AREA:	2,066 SF	2,066 SF			
AREA EXCLUDED FROM FAR:	308 SF	308 SF			
STAIRS: 69 SF					
LAVATORIES: 103 SF					
AREA < 7' HEIGHT: 136 SF					
CODE ANALYSIS:					
	EXISTING:	PROPOSED:			
RENOVATION LEVEL:		LEVEL 2 (32%)			
WORK AREA:		652 SF			
IBC OCCUPANCY CLASSIFICATION:	R-3	R-3			
NFPA 101 OCCUPANCY CLASSIFICATION:	1 AND 2 FAMILY DWELLING	1 AND 2 FAMILY DWELLING			
TYPE OF CONSTRUCTION:	III-B	III-B			
NUMBER OF STORIES ABOVE GRADE:	2 1/2	2 1/2			
HIGH RISE:	NO	NO			
FULLY SPRINKLERED:	NO	NO			
FIRE ALARM:	NO	NO			
PLANS PREPARED BASED ON THE FOLLOWING CODES:					
2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC):					
2021 VIRGINIA CONSTRUCTION CODE					
2021 VIRGINIA RESIDENTIAL CODE					
2021 VIRGINIA ENERGY CONSERVATION CODE					
2021 VIRGINIA EXISTING BUILDING CODE					

Boswell Residence

229 S. Payne Street
Alexandria VA 22314

1

Front Elevation

SCALE: 1/8" = 1'-0"

Drawing List	
T1	Cover
T2	Site Plan
T3	Project Photos
T4	Product Specifications - Doors
T5	Product Specifications - Roof
T6	Product Specifications - Skylight
D0	First and Second Floor Demolition Plans
D1	Attic and Roof Demolition Plans
A1-0	First and Second Floor Proposed Plans
A1-1	Attic and Roof Proposed Plans
A2-1	Front Existing and Proposed Elevations
A2-2	Right Existing and Proposed Elevations
A2-3	Rear Existing and Proposed Elevations
A2-4	Left Existing and Proposed Elevations

RUST
CONSTRUCTION

RUST
CONSTRUCTION

3701B Mount Vernon Ave
Alexandria, VA 22305
703-836-6010

Boswell Residence

229 S. Payne Street Alexandria VA 22314

Cover

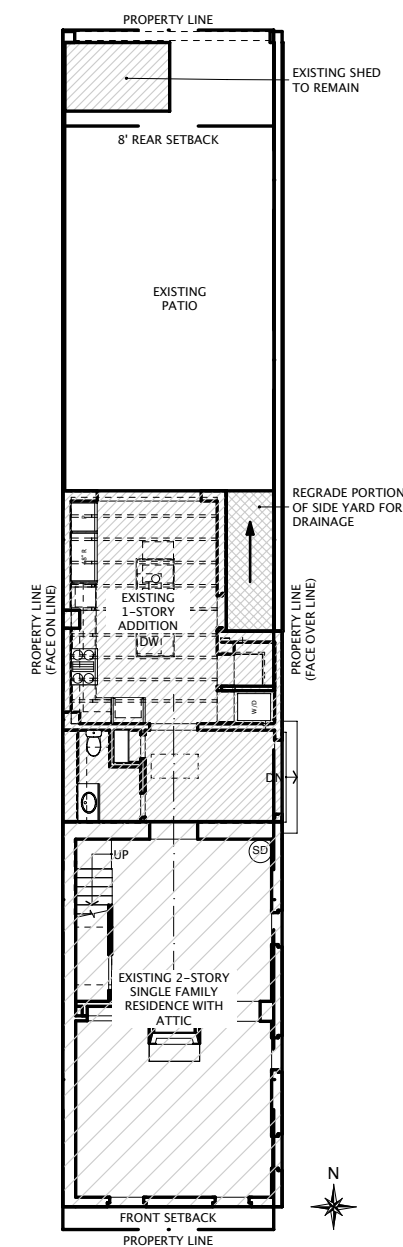
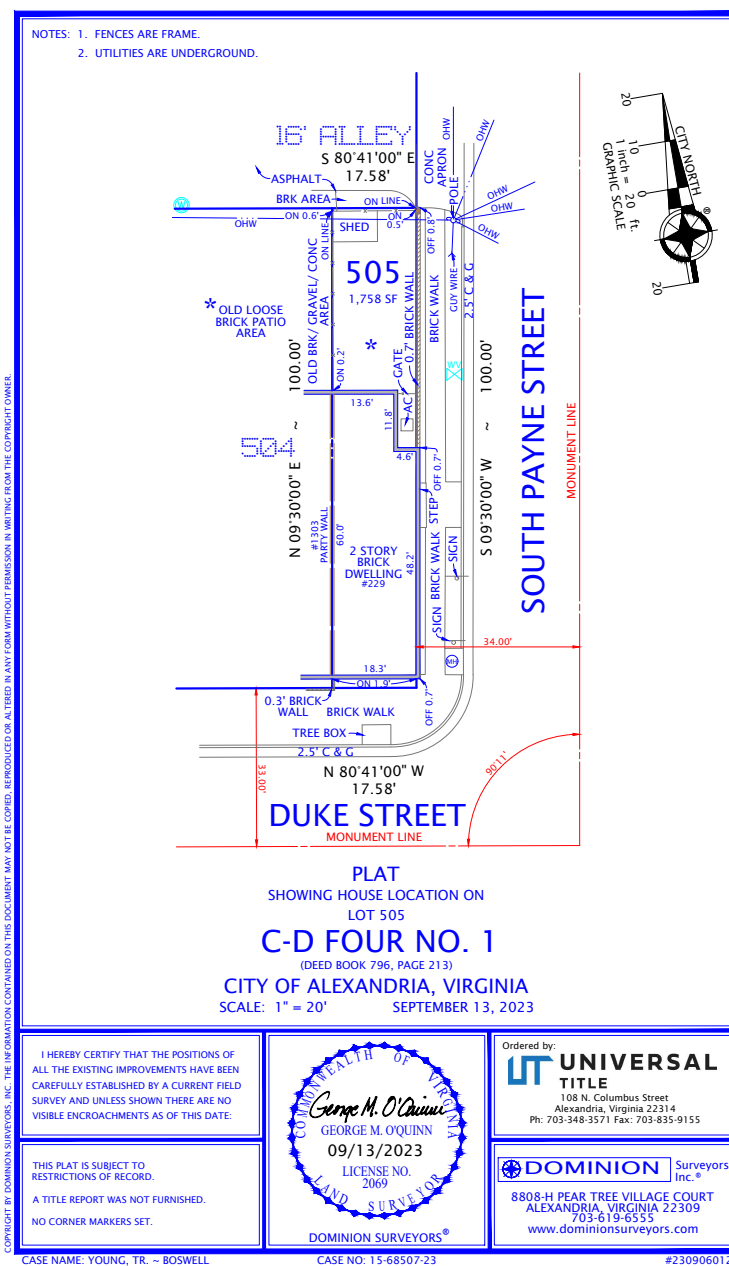
T1

Date

9/14/25

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13



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229 S. Payne Street Alexandria VA 22314

Site Plan

T2

Date	9/14/25
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SIDE VIEW – REPLACE LOWER ROOF AND SKYLIGHT, ADD TWO SKYLIGHTS



REAR ELEVATION – REPLACE EXISTING DOORS



FRONT AND SIDE VIEW – REPLACE LOWER ROOF AND SKYLIGHT, ADD TWO SKYLIGHTS



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Project Photos

T3

Date	9/14/25

SWINGING DOORS

Expansive glass areas and meticulously designed and engineered construction.

Available in out-swing and in-swing versions with standard or narrow rails and stiles. Standard doors have a top rail and stiles with face widths of 4 1/4" and a bottom rail that is 7 1/8". Other design options include mid-rail and flat or raised panel doors, fixed or venting sidelites & transoms, and barrier-free Sills (ADA compliant).

FEATURES

- Elegant European-style multipoint lock system with standard stainless steel components for corrosion resistance
- Standard stile and rail construction with a thick skin of Vertical Grain Coastal Douglas Fir over an engineered Coastal Douglas Fir core
- Available with standard 1 3/4" panels or more robust 2 1/4" thick panels
- Our proprietary aluminum storm and screen doors are available in matching AAMA 2605 paint finishes and AAMA 611 anodized finishes



28

3" Narrow Stile Door

Narrow Stile door options are available for Single Terrace, French Terrace and BiFold doors. These contemporary door panels have minimal stiles and rails for maximum views. The standard panel thickness is 1 3/4", with 2 1/4" wide stiles, a 2 1/2" top rail and a 4 1/4" bottom rail.

2 1/4" Door

Our advanced 2 1/4" panel is engineered for higher performance and a cleaner look. Magnetic strike plates add invisible and automatic security enhancements. True Triple glazing is easily executed giving you better thermal and sound properties. The 2 1/4" non-clad out-swing door moves all the weather gaskets to the door panel for better performance and an even cleaner look.



Creative Union Architects | Riley Snelling Photography

FEATURES & SPECIFICATIONS

Styles

Traditional, French, Cambertop, Quarter Round, Full Radius.

Standard Features

Natural Douglas Fir interior (no visible finger joints)

Full Jamb – 6 9/16 (166 mm) construction is an option

3 mm Low E insulated tempered glazing

Multi-point locking hardware, complete with solid brass core handle set, escutcheon and dead bolt

Extruded aluminum cladding in a variety of standard colors, primed wood or clear fir exterior

Flexible weatherstrip system

Hardware

Multiple hardware type and finish choices are available, see the hardware in section A for more information. Multipoint locking hardware – complete with brass handle set and escutcheon – and dead bolt are standard on all Terrace Doors. Optional keyed alike locks are available. Standard concealed bearing hinges in a variety of finishes are available. Note: French doors with handle activated shoot bolts on inactive panel.

Glazing

LowE Double, LowE Triple, and StormForce™. StormForce is not available on all products. Double or triple glass configurations with 1/2" (13 mm) airspace. With countless glazing configurations and LowE coating options, we ensure that you can choose the perfect blend of protection and comfort. LowE best describes the benefits of the product that incorporates glazing coatings and Argon gas. LowE systems help reduce heating and cooling costs, providing superior energy efficiency.

Simulated Divided Lites (SDL)

Standard SDL complete with airspace grilles, where available. Grille bars are permanently applied to the interior and exterior.

Ogee Profile – 3/4" (19 mm), 1 1/8" (30 mm), 2" (51 mm)

Putty Profile – 5/8" (16 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)

Square Profile (interior only) – 5/8" (16mm), 3/4" (19 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)



Terrace



French Terrace



Half Round Terrace
Available in wood exterior only.



Half Round French Terrace

H2

NOTE: CLAD WOOD DOORS
PROPOSED, LOEWEN OR EQUAL



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CONSTRUCTION

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Ave
Alexandria, VA 22305
703-836-6010

Boswell Residence
229 S. Payne Street Alexandria VA 22314

Product Specifications – Doors

T4

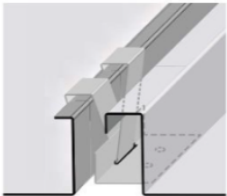
Date 9/14/25

UC-3

Double-Lock Architectural Series



The UC-3 Double-Lock Standing Seam provides the architect with a 1.5" high traditional lock-form standing seam, which is locked in the field by a mechanical seamer.



TECHNICAL INFORMATION

- UL 580 Class 90 rated
- ASTM E283 air infiltration
- ASTM E330-90 structural performance
- ASTM E331 water penetration
- ASTM E1646-95 water penetration
- ASTM E1680-95 air leakage
- ASTM E1592 uniform static air pressure
- UL 263, UL 790 Class A fire rating
- Available for radius applications
- Miami-Dade County approved
- UL 2218 Class 4 hail rating

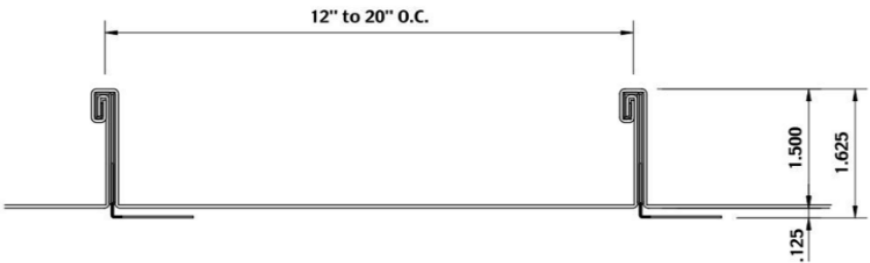
Red Shield Warranty available



The UNA-CLAD™ UC-3 is a Double-Lock Standing Seam roofing system that provides a traditional look and allows mechanical seaming to enhance the architect's design needs—while meeting current wind-load designs for architectural metal roofing. The UC-3 roofing system offers the designer the ability to design or specify various radius roof profiles. Concealed fasteners and patented stainless steel slotted clips allow for expansion and contraction. It is recommended that UC-3

panels be installed over a solid substrate such as plywood and an underlayment of 30# felt. The UC-3 roofing system is available in 22, 24 and 26 gauge painted galvanized steel, .032 and .040 painted or anodized aluminum, and 16 oz. or 20 oz. Architectural Grade Sheet Copper. Heavier gauges, narrower widths and embossing minimize oil canning. Contact UNA-CLAD for radius capabilities.

Note: Oil canning is not a cause for rejection.



Color Selection Guide



STONE WHITE SR	BONE WHITE SR	ALMOND SR	SANDSTONE SR
SLATE GRAY SR	CITYSCAPE SR	CHARCOAL GRAY SR	SIERRA TAN SR
	SELECTED COLOR 		
MEDIUM BRONZE SR	DARK BRONZE SR ¹	EXTRA DARK BRONZE	MATTE BLACK SR ¹
BRANDYWINE SR ¹	COLONIAL RED SR	TERRA COTTA SR	MANSARD BROWN SR
REGAL RED SR	AWARD BLUE ★	SKY BLUE SR	ELECTRIC BLUE ★
REGAL BLUE	TEAL	PATINA GREEN SR	DARK IVY SR ²
SHERWOOD GREEN SR	HARTFORD GREEN	HEMLOCK GREEN SR	TROPICAL PATINA SR
SILVER METALLIC SR ★	CLASSIC COPPER SR ★	CHAMPAGNE METALLIC SR ★	

For a true color representation, please call or write for actual metal sample(s). Protective film must be removed immediately after installation. Oil canning is not a cause for rejection.

★ = Premium Color
SR = Solar-Reflectant color, with KYNAR finish have Reflectivity of at least 0.25
SR¹ values qualify in steel only
SR² values qualify in aluminum only



RUST CONSTRUCTION

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Product Specifications – Roof

T5

Date 9/14/25

NOTE: STANDING SEAM ROOF PROPOSED, UNA-CLAD OR EQUAL

FS Fixed Skylight Pitched Roof

Main features

Smooth profile grey aluminium capping

NEAT™ coating on outer pane

Choice of blinds

11 sizes available

Laminated double glazing as standard

Interior, white painted pine

15°-90°
INSTALLATION PITCH*

Construction

Quality frame made from Ponderosa pine. Factory treated with a base preservative to reduce mould and mildew. Further treated with a coat of white paint for clean interior finish.

The FS Skylight provides a cost effective solution for creating light-filled rooms where adequate ventilation already exists. Energy efficient glazing and the use of blinds ensures heat transference is minimised.

High Performance Double Glazing

Benefits:

- Radiant heat block: Complete window Glass only **approx 75%**
- UV Harmful rays block **approx 70%**
- WERS rating **approx 99%**
- Double layer of Low-E³ coating.
- 10 year warranty on insulated glass seal.
- Reduced cleaning frequency.

5 stars

Australian Standard AS1288

Laminated glass (standard with FS) must be used for skylights installed 3m or more above floor level.

NEAT™ Photocatalytic Coating

- Silicone Dioxide/Titanium Dioxide coating reacts with the sun's UV rays to decompose surface organic dirt before rinsing away with the next shower of rain, thereby reducing cleaning frequency.
- The coating also makes the glass surface smoother, so water disperses evenly, sheets off, and evaporates quickly; thereby minimising water spotting on the pane.

* For roofs below 15° pitch, skylights need to be raised to 15° and custom flashed. VELUX can assist with technical advice and drawings. (NB: build-up not recommended in Bushfire areas.)

10 YEAR WARRANTY
on skylights, flashings and glazing

3 YEAR WARRANTY
on blinds and accessories

FS technical performance

Code Mark is a voluntary certification scheme owned by the Commonwealth of Australia that provides legally binding evidence of compliance to the National Construction Code of Australia. One certificate replaces dozens of technical papers.

Australian Standards

VELUX Skylights are tested and approved to the appropriate Australian Standards.

AS4285 SKYLIGHT- Cyclonic and Non-Cyclonic Tests*

Pressure Rating -2.4kPa

AS1288 OVERHEAD GLAZING Laminated inner pane

AS3959 BUSHFIRE Attack Level 40^

NCC BOUNDARY SEPARATION† Class 1 and Class 10 buildings: Within 900mm of a boundary wall
Class 2 to Class 9 buildings: 3 metres from a boundary wall^^

VELUX Skylights are deemed non-combustible by CSIRO and thereby comply with NCC boundary separation requirements.

BASIX Selection Guide Timber, Low-E, Double glazed, Argon filled

† CSIRO assessment report available on request. VELUX recommends consultation with relevant authority before work commences.

^ Roof pitch 18°-75°. Skylight only. Custom-made flashing required.

^^ Skylight cannot be closer than 3m unless the boundary is adjoining a road or public place. Consult NCC for further details.

‡ Not certified for NT DTCM.

Hailstone Test

VELUX Simulated Tests ††ASTM E822-2009.

†† ASTM E822-2009 standard practice for determining resistance of Solar Collector Covers to Hail impact with propelled ice balls.

Energy rating

FS Skylights have been energy rated in accordance with the Skylight Energy Rating Scheme (WERS).

★★★★★ **Maximum 5 stars Summer Ratings**

5 out of 5 stars for Winter Rating.

5 out of 5 stars for Cool Daylight in Summer.

Technical Values

U-value (W/m²K)

Complete skylight	2.60
Glass only	1.93

Solar Heat Gain Co-efficient

Complete skylight	0.24
Glass only	0.28

Visible Light Transmittance

Complete skylight	0.55
-------------------	------

Luminous Efficacy (Ke = VT/SHGC)

Complete skylight	2.29
-------------------	------

Acoustic performance

Complete skylight	32dB#
-------------------	-------

Figures generated by AFRC accredited simulators. Figures based on complete skylight; nominal size 1140mm (W) x 1180mm (H).

Based on Rw value tested to AS1276.1.

FS Fixed Skylight Pitched Roof

Choice of blinds

Honeycomb blinds

- Adds a decorative effect.
- Colour: White on both sides.
- Materials: Double layered pleats (polyester) form a 'honeycomb' structure. Inner faces of honeycomb structure have aluminium coating. White powder-coated aluminium side channels and top cover.
- Provides near total light reduction.
- Reduce heat by approx 70%.†
- Easy to install.

Blockout blinds

- Colour: White on internal side. Silver coating on external side.
- Materials: Light-tight polyester with heat resistant coating. White powder-coated aluminium side channels and top cover.
- Provides near total light reduction.
- Reduce heat by approx 40%.†
- Easy to install.

Solar

- Built-in solar panel charges concealed battery pack.
- Operated by wireless wall-mounted keypad (provided).

Manual

- Requires rod control (ZXT 200) for out-of-reach situations.

Blinds and control rods sold separately.

NB: VELUX blinds and flashings do not fit older VELUX products. Contact VELUX to check availability of suitable blinds and flashings.

FS – frame and glazing dimensions											
Profile height above batten 100mm											
Product/size code ▶	C01	C04	C06	C08	C12	M02	M04	M06	M08	S01	S06
Overall frame size w x h – mm	550x700	550x980	550x1180	550x1400	550x1800	780x780	780x980	780x1180	780x1400	1140x700	1140x1180
Internal glass size w x h – mm	462x611	462x891	462x1091	462x1311	462x1713	692x691	692x891	692x1091	692x1311	1052x611	1052x1091
Daylight area (M²)	0.28	0.41	0.50	0.61	0.79	0.48	0.62	0.75	0.91	0.64	1.15
Weight in kg ‡	14.9	18.9	22.1	25.3	37.3	21.5	24.8	29.1	33.3	26.7	39.4

Skylights can only be installed as per orientation depicted above.
‡ Weight includes flashing.
† Based on VELUX internal testing with 3076 model Roof Window.

Choice of flashing

EDW flashing

EDW flashing is used for skylights installed into tiled roofs and low profiled metal roofs (such as corrugated iron and spandek – not suitable for metal profiles such as Klip-Lok, Trimdek).

EDL flashing

EDL flashing is used for skylights installed into slate or shingle roofs – typically 4-8mm thick. 'L' shaped sections are provided that act as soaker pieces on either side of the skylight.

EKW combination flashing

Designed for installing multiple skylights side-by-side or above-below. Skylights must be spaced 100mm apart. EKW suitable for same roofs as EDW flashing.

NB: For roofs below 15° pitch, skylights need to be raised to 15° and custom flashed. VELUX can assist with technical advice and drawings. (NB: build-up not recommended in Bushfire areas.)



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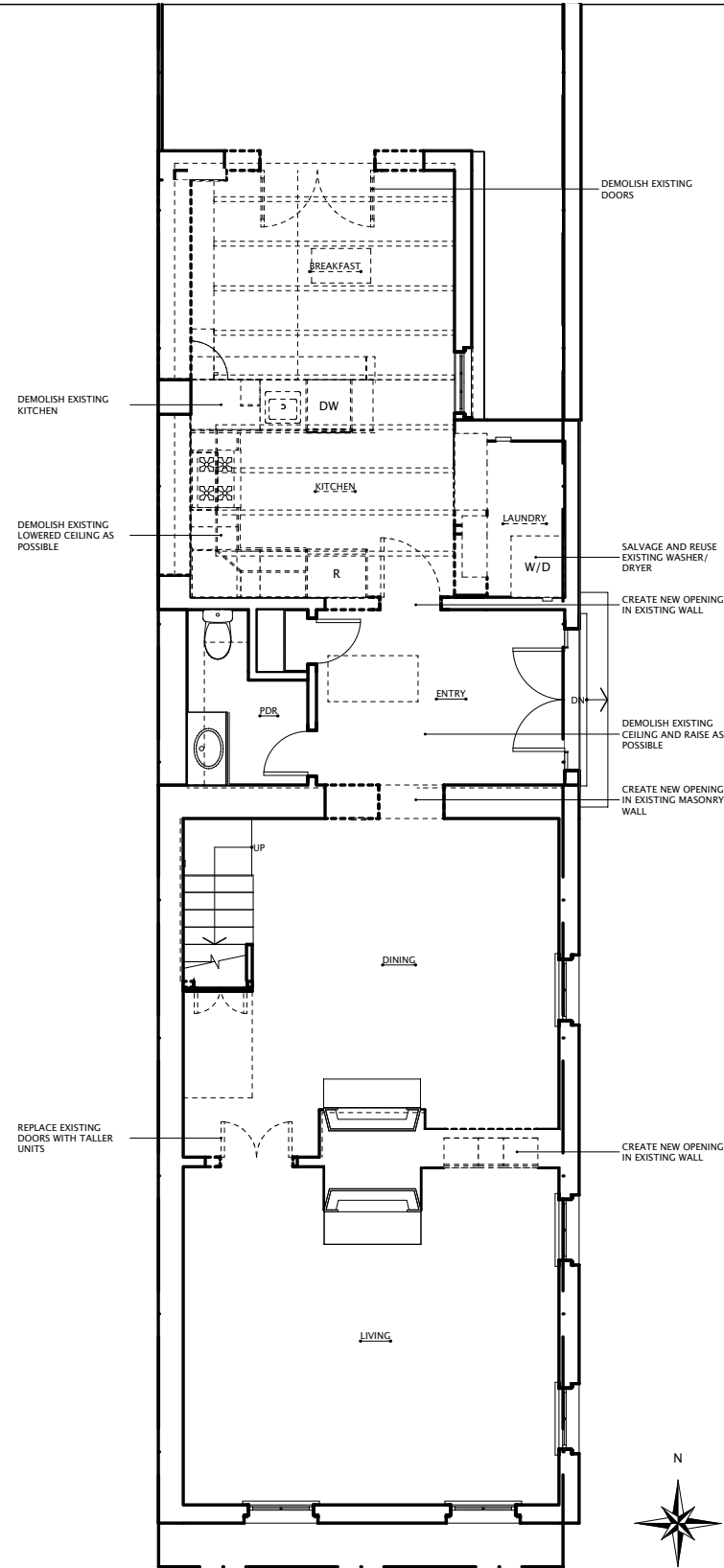
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703-836-6010

Boswell Residence
229 S. Payne Street Alexandria VA 22314
First and Second Floor Demolition Plans

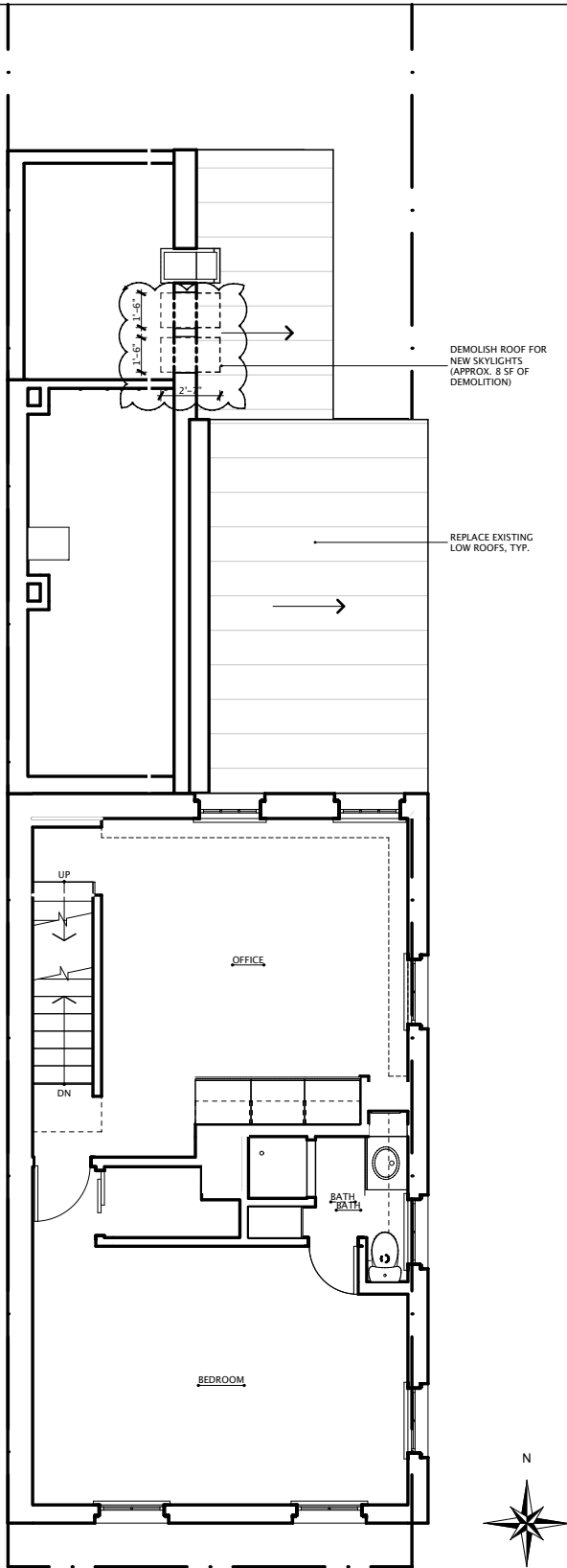
D0

Date	9/14/25

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1 First Floor Demolition Plan
SCALE: 1/8" = 1'-0"



2 Second Floor Demolition Plan - NO WORK THIS LEVEL
SCALE: 1/8" = 1'-0"

- DENOTES EXISTING WALLS
- DENOTES PROPOSED WALLS
- - - - DENOTES WALLS TO BE DEMOLISHED



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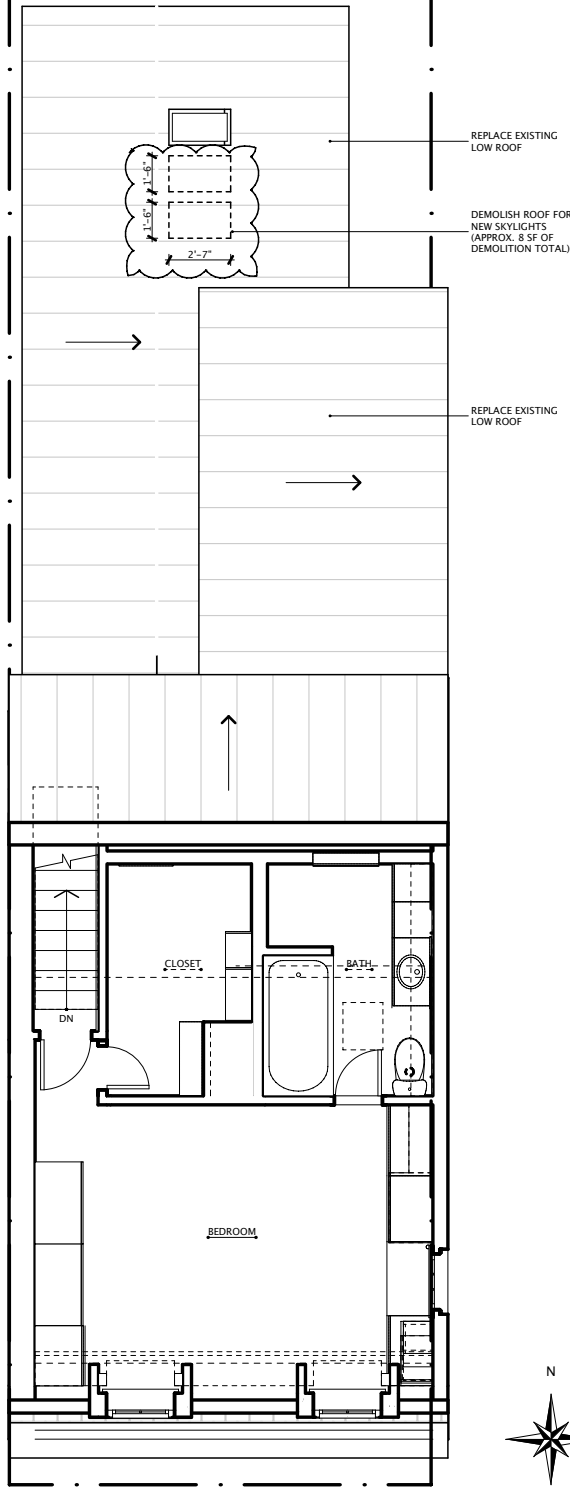
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Attic and Roof Demolition Plans

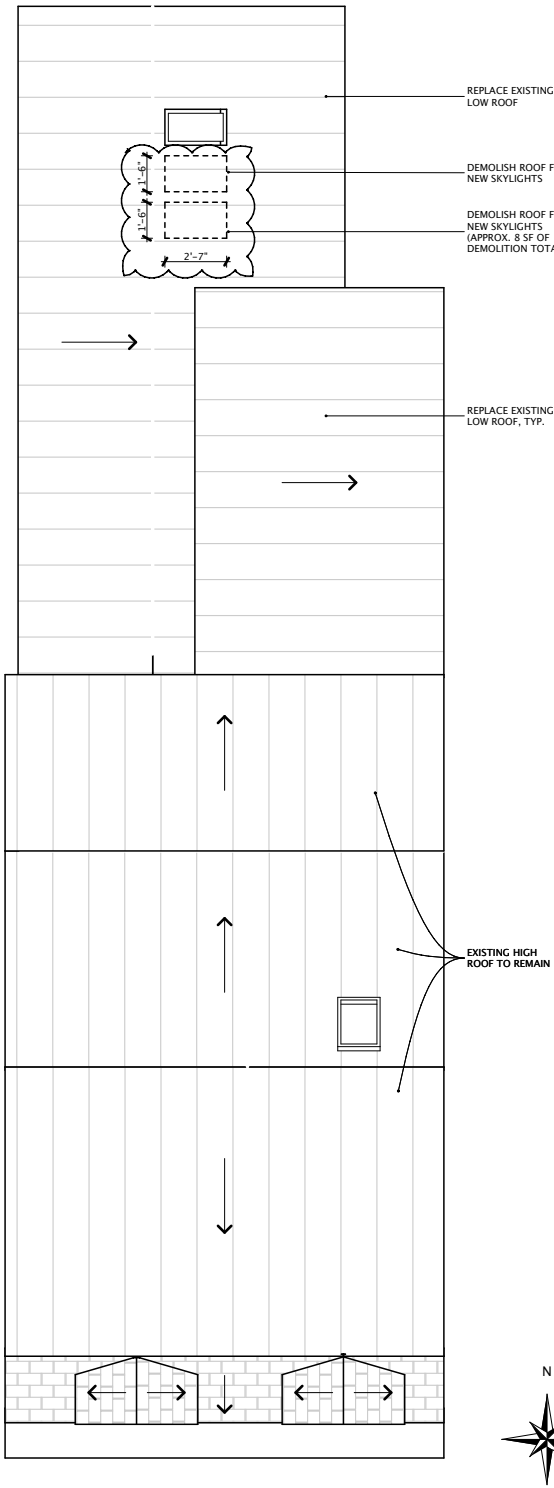
D1

Date 9/14/25

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1 Attic Demolition Plan – NO WORK THIS LEVEL
SCALE: 1/8" = 1'-0"



2 Roof Demolition Plan
SCALE: 1/8" = 1'-0"

==== DENOTES EXISTING WALLS
==== DENOTES PROPOSED WALLS
---- DENOTES WALLS TO BE DEMOLISHED



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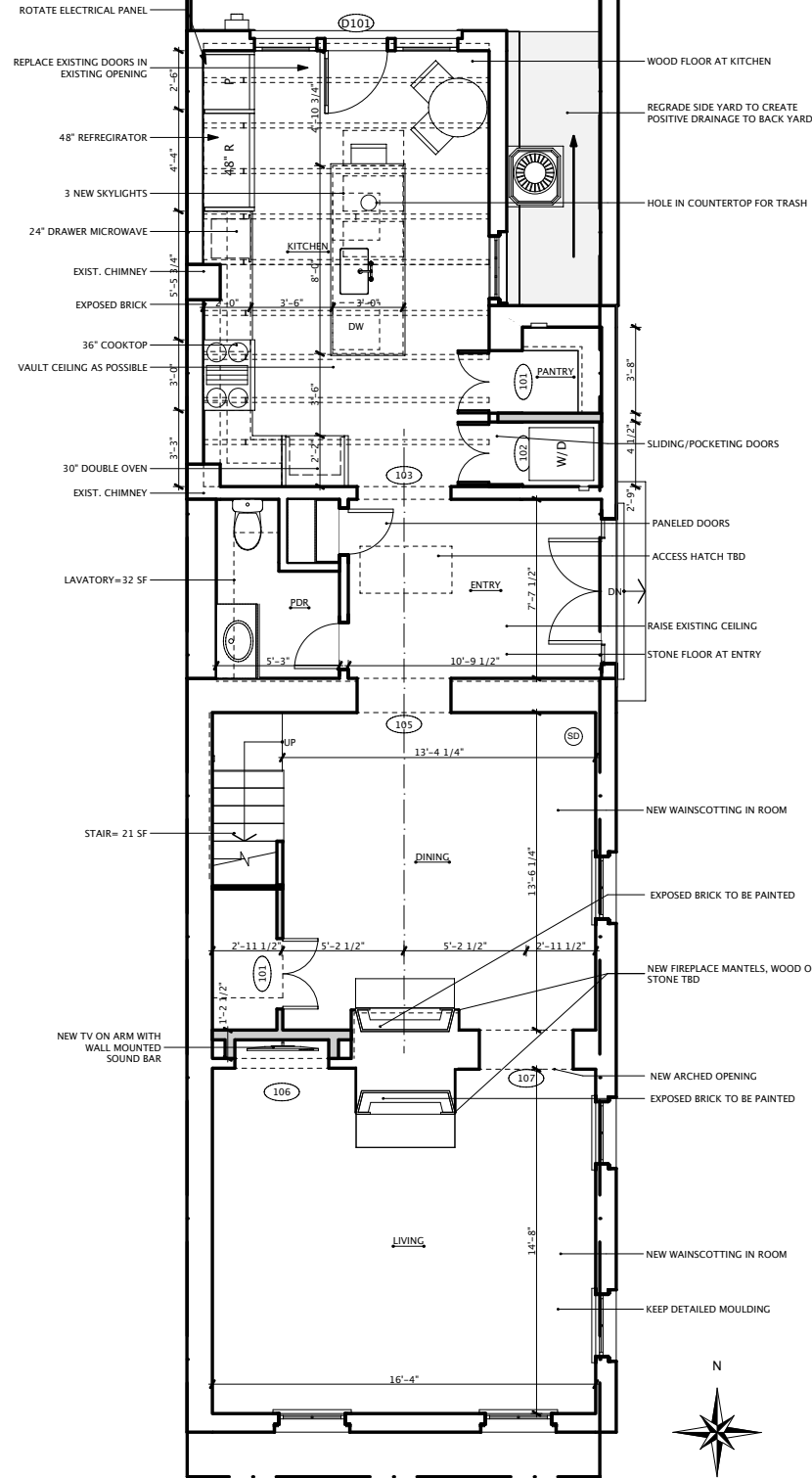
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Boswell Residence
229 S. Payne Street Alexandria VA 22314
First and Second Floor Proposed Plans

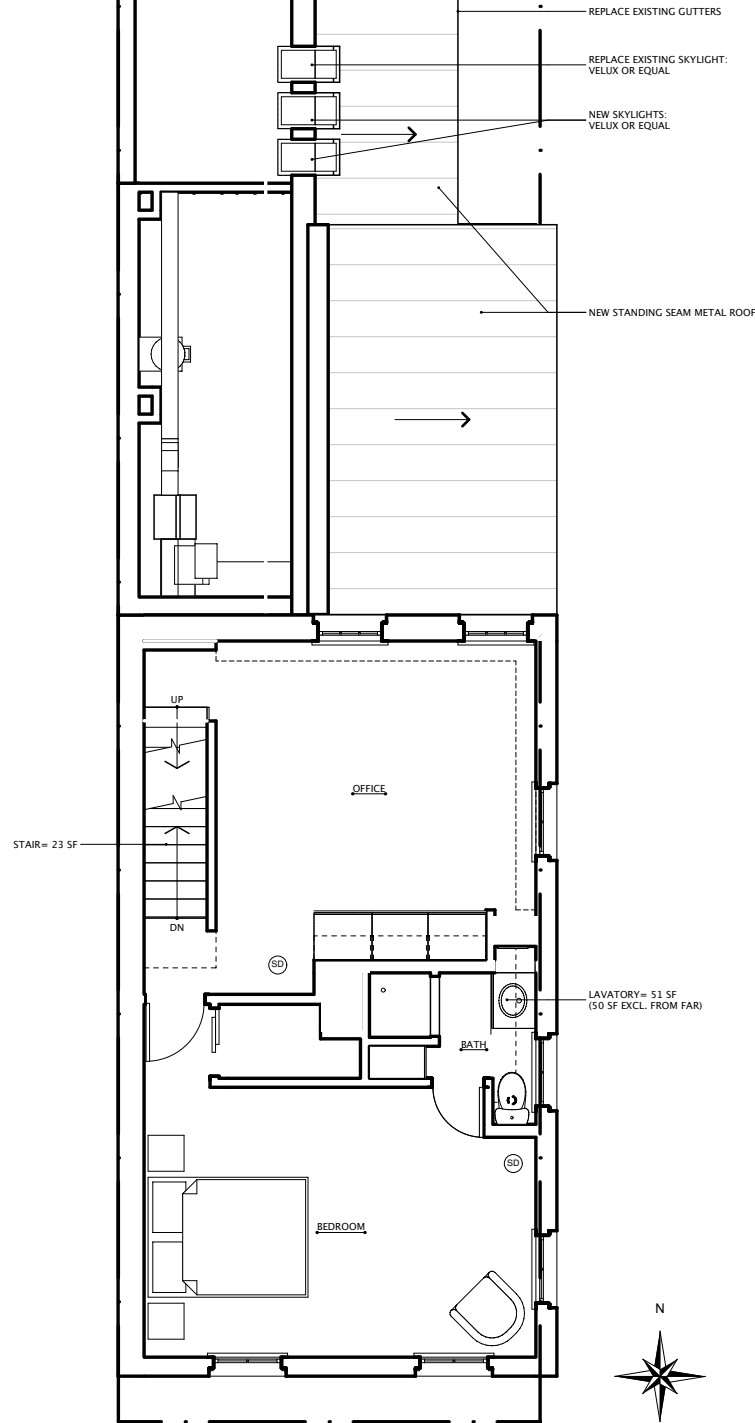
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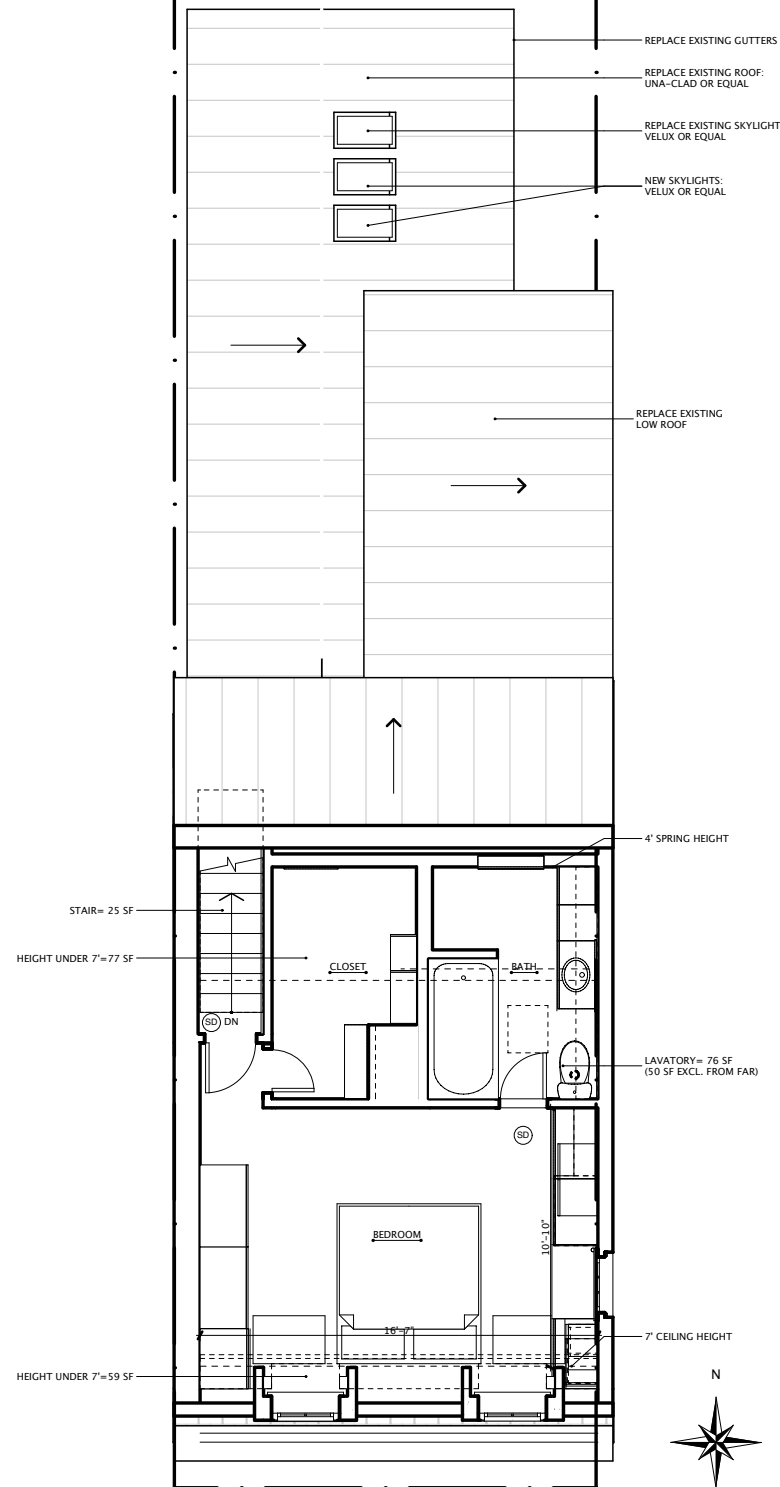


1 First Floor Plan
SCALE: 1/8" = 1'-0"

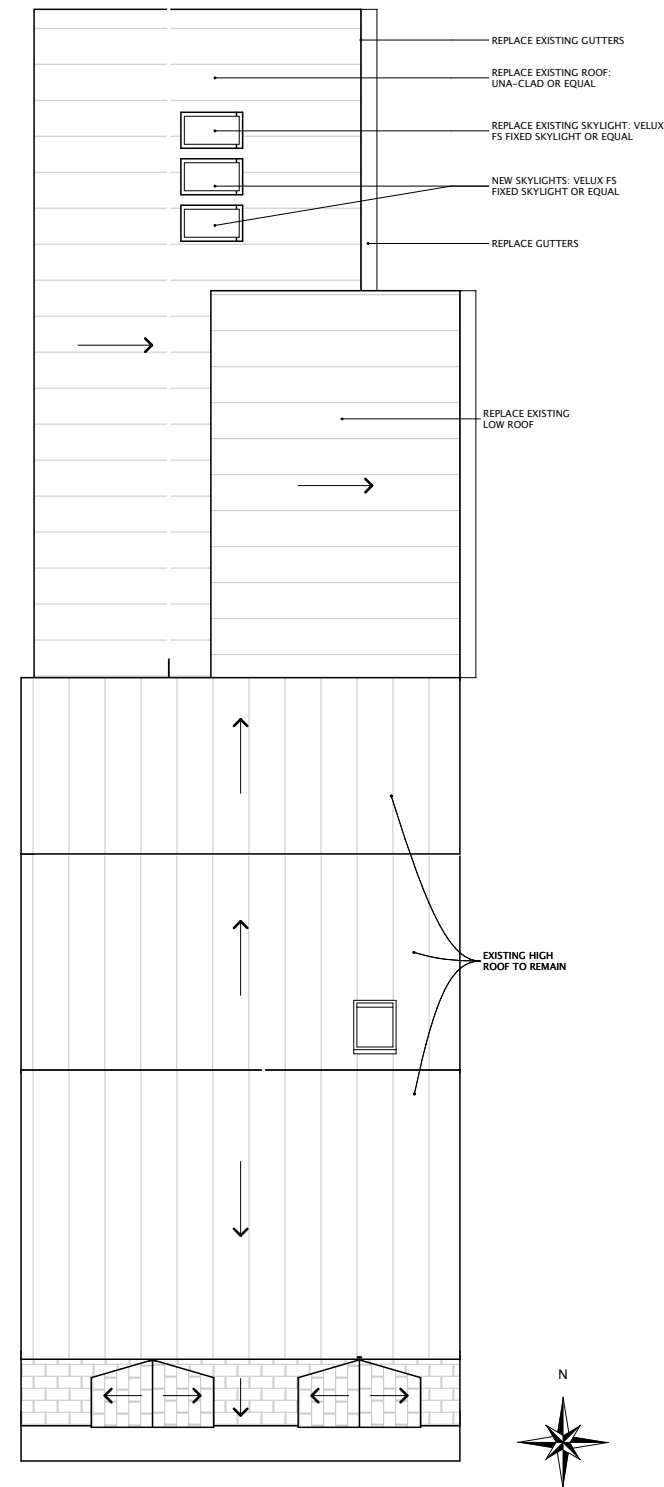


2 Second Floor Plan - NO WORK THIS LEVEL
SCALE: 1/8" = 1'-0"

- DENOTES EXISTING WALLS
- DENOTES PROPOSED WALLS
- DENOTES WALLS TO BE DEMOLISHED



1 Attic Plan - NO WORK THIS LEVEL
SCALE: 1/8" = 1'-0"



2 Roof Plan
SCALE: 1/8" = 1'-0"

- DENOTES EXISTING WALLS
- DENOTES PROPOSED WALLS
- DENOTES WALLS TO BE DEMOLISHED



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Attic and Roof Proposed Plans

A1-1

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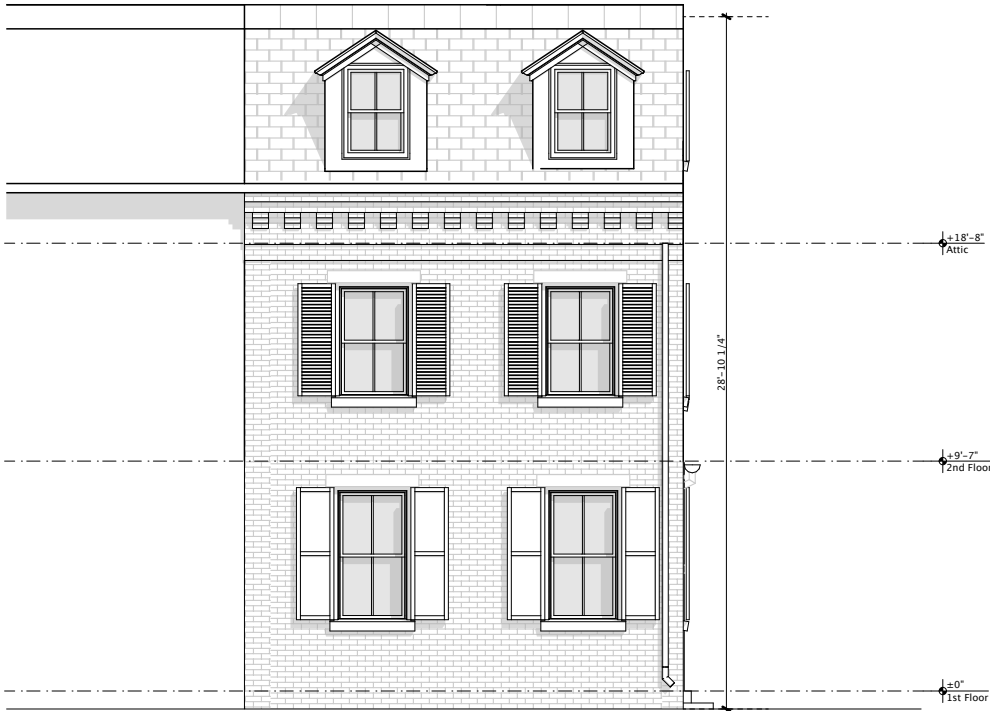
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Front Existing and Proposed Elevations

A2-1

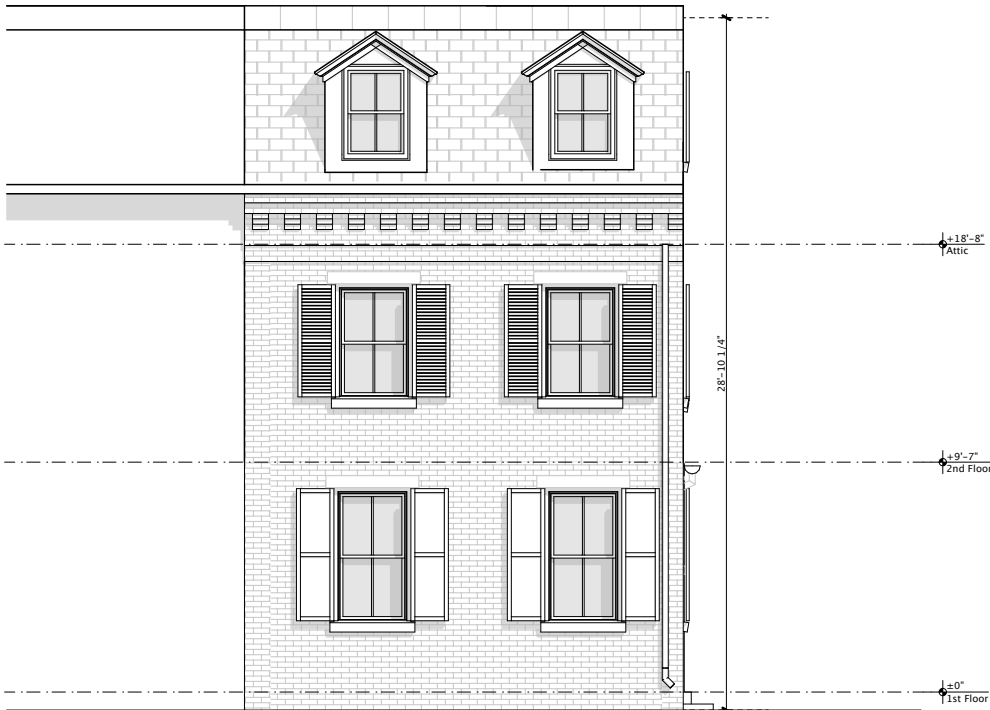
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1

Existing Front (South) Elevation – NO WORK THIS ELEVATION
SCALE: 1/8" = 1'-0"



2

Proposed Front (South) Elevation – NO WORK THIS ELEVATION
SCALE: 1/8" = 1'-0"



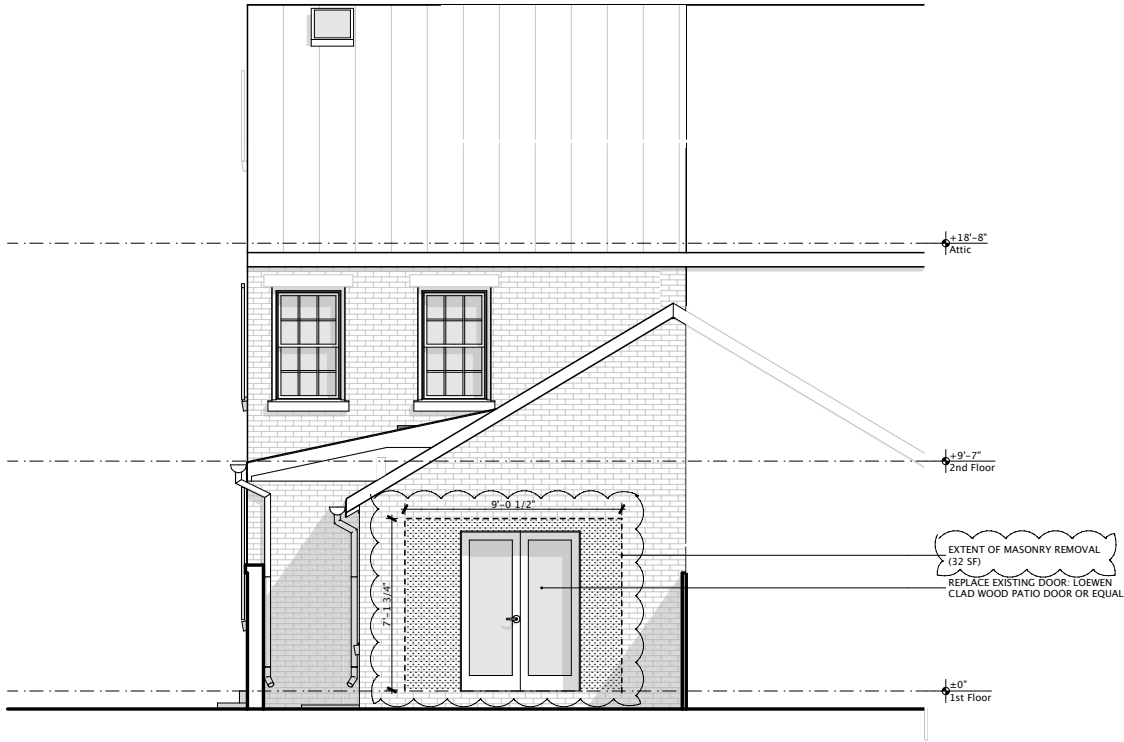
1

Existing Right (East) Elevation
SCALE: 1/8" = 1'-0"



2

Proposed Right (East) Elevation
SCALE: 1/8" = 1'-0"



1

Existing Rear (North) Elevation
SCALE: 1/8" = 1'-0"



2

Proposed Rear (North) Elevation
SCALE: 1/8" = 1'-0"



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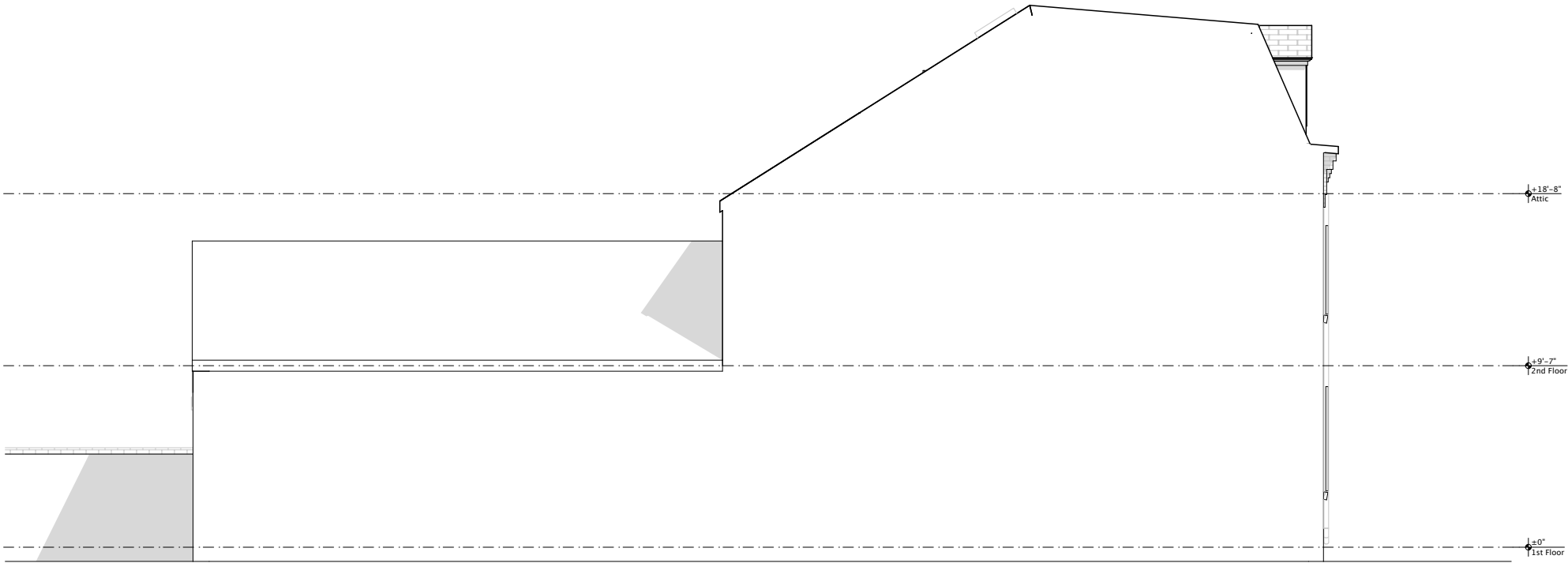
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Left Existing and Proposed Elevations

A2-4

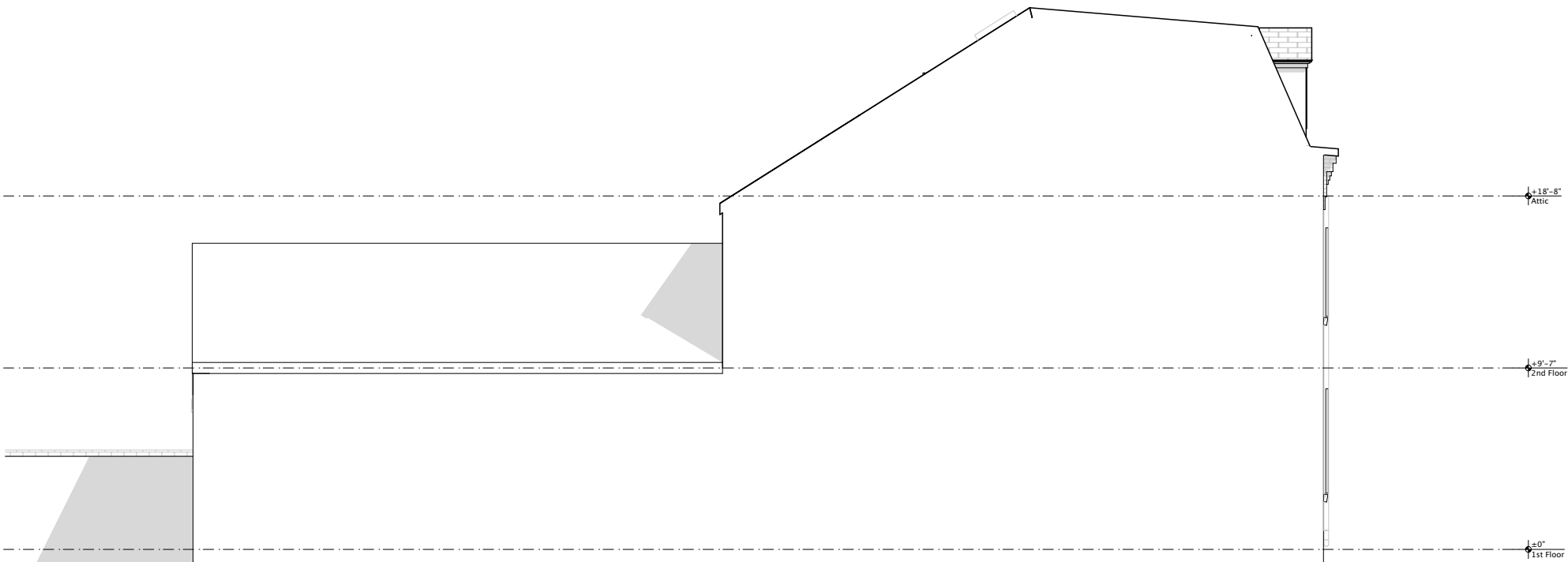
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2

Existing Left (West) Elevation – NO WORK THIS ELEVATION
SCALE: 1/8" = 1'-0"



1

Proposed Left (West) Elevation – NO WORK THIS ELEVATION
SCALE: 1/8" = 1'-0"



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. Street Address Zone

A2. x =
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement		Basement**		B1. Sq. Ft. Existing Gross Floor Area*
First Floor		Stairways**		B2. Sq. Ft. Allowable Floor Exclusions**
Second Floor		Mechanical**		B3. Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor		Attic less than 7'***		Comments for Existing Gross Floor Area
Attic		Porches**		
Porches		Balcony/Deck**		
Balcony/Deck		Lavatory***		
Lavatory***		Other**		
Other**		Other**		
B1. <u>Total Gross</u>		B2. <u>Total Exclusions</u>		

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement		Basement**		C1. Sq. Ft. Proposed Gross Floor Area*
First Floor		Stairways**		C2. Sq. Ft. Allowable Floor Exclusions**
Second Floor		Mechanical**		C3. Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor		Attic less than 7'***		
Attic		Porches**		
Porches		Balcony/Deck**		
Balcony/Deck		Lavatory***		
Lavatory***		Other**		
Other		Other**		
C1. <u>Total Gross</u>		C2. <u>Total Exclusions</u>		

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: 

Date: _____