

Docket Item # 2
BAR CASE # 2012-0416

BAR Meeting
January 23, 2013

ISSUE: Revisions to Previously Approved Plans
APPLICANT: Jorge & Lorie Nevares by Carter Jones, AIA
LOCATION: 114 North Patrick Street
ZONE: CD / Commercial

STAFF RECOMMENDATION

Staff recommends approval of the application with the condition that the materials used for the roof deck must be high-quality materials consistent with the Board's adopted policies and what the Board previously approved for the addition.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



BAR2012-00416

I. ISSUE:

The applicant is requesting revisions to previously approved plans to provide access to a roof deck on a rear addition. In June 2012, the Board approved a Permit to Demolish/Capsulate and Certificate of Appropriateness for a substantial rear addition (BAR 2012-0185 and BAR 2012-0186). The previous BAR application suggested the possibility of a roof deck on the rear addition with the presence of a simple balustrade, however, it was not expressly called out and no clear access to the space was shown. The most prominent aspect of the roof deck will be the roof access stair tower which will read as a small penthouse addition. Attached to this element will be an open pergola. The stair tower will measure approximately 8 feet by 15 feet and will be set back approximately 23 feet from the balustrade on the west elevation of the addition.

Two, or possibly three, new HVAC condenser units, as well as associated ductwork will be located on the flat roof of the addition and will be screened by the proposed balustrade and stair tower.

II. HISTORY:

The Federal-style, two-story, three-bay brick townhouse located at 114 North Patrick Street likely dates to the **first quarter of the 19th century** and was built as one of a row of four townhouses. In *Historic Alexandria, Virginia, Street by Street*, Ethelyn Cox notes that this townhouse was “built by Francis Poston, who bought the lot in 1802, and pledged it, “one tenement and lot of ground,” in a deed of trust in March 1815. The house, in its current configuration, appears on the 1877 G. M. Hopkins *City Atlas of Alexandria* map as well as early Sanborn Fire Insurance Maps (1885, 1891 and 1896). The 1902 Sanborn Fire Insurance Map depicts a one-story rear addition off the two-story rear ell, which remained until at least 1958.

In June 2012, the Board approved a Permit to Demolish/Capsulate and Certificate of Appropriateness for a rear addition (BAR 2012-0185 and BAR 2012-0186, June 27, 2012).

The alleys in this block are public according to the City’s Surveyor Office.

III. ANALYSIS:

The proposed amendments to the previous application for a rooftop access stair tower comply with Zoning Ordinance requirements. As noted in the previous BAR report, the subject property is located in the Central Business District and is currently an office use. No parking is currently required because the lot is less than 10,000 square feet. If the property is converted to residential, then two parking spaces will be required. No open space or setbacks are required for commercial properties in the CD zone. However, 35% open space is required for a single family residential use. If the property is converted in the future from commercial use to residential use, a variance and/or usable rooftop open space will be required to reduce the open space below 35%.

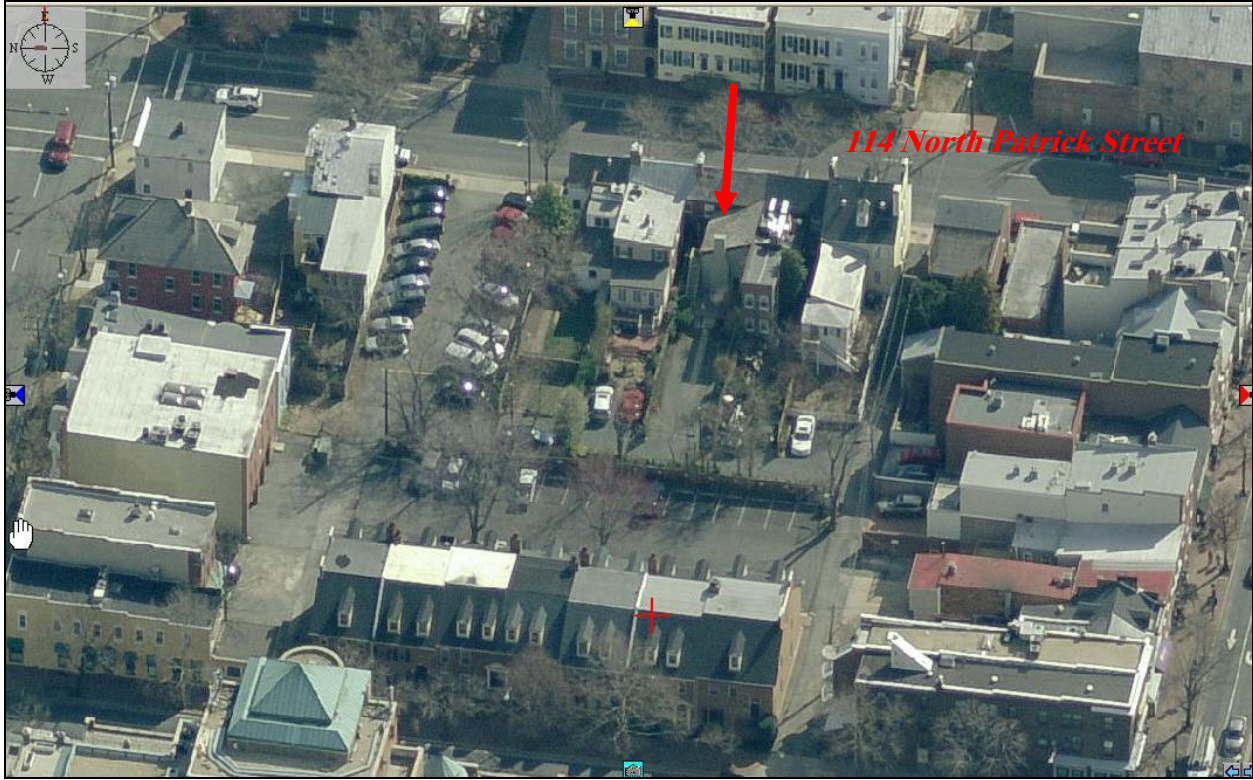


Figure 1. Arrow showing subject property and bird's eye view showing context of block bounded by Cameron Street to the north, King Street to the south, and Route 1 on the east and west sides.

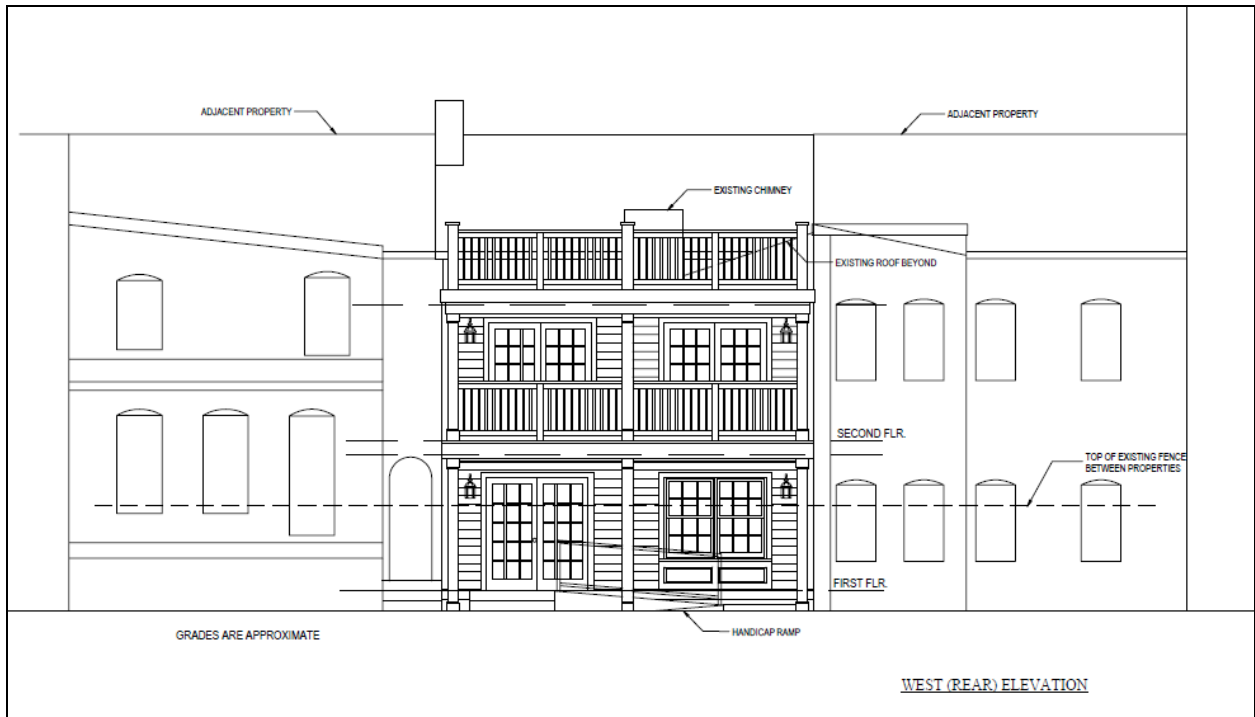


Figure 2. Previously approved west (rear) elevation.

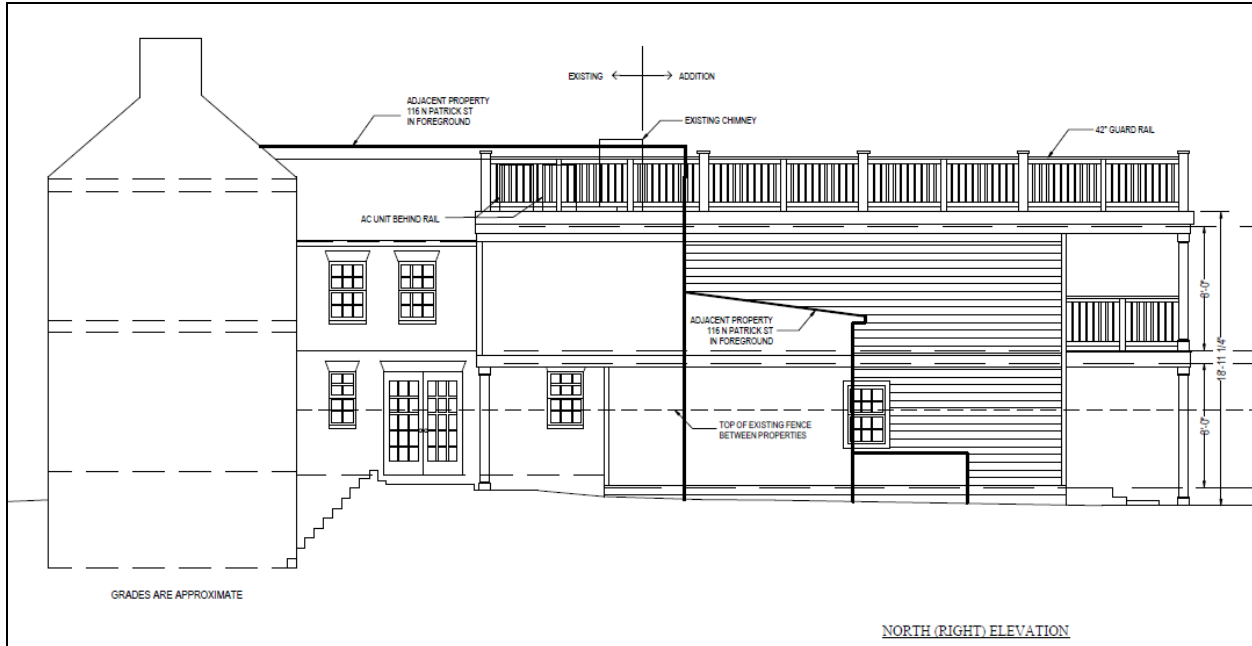


Figure 3. Previously approved north (side) elevation.

The previous BAR application for this property suggested a roof deck with the rooftop balustrade but did not specifically call out the presence of a roof deck. In recent years, the two BARs have seen an increase in the request for roof decks as property owners seek to create more outdoor space. The *Design Guidelines* state that “roof decks should be constructed so that they do not interfere with the historic roofline of a building” and “material should not be used on a roof deck that detracts from the historic architecture of a structure.” In this particular case, Staff believes that the roof deck stair tower and pergola will be minimally visible due to the mid-block location of the subject property and the location of the stair tower set back from the rear of the addition. While there will be some visibility from the public alleys, Staff does not believe that the addition will detract from buildings of historic merit.

Although not specified on the plans, it is understood that the proposed materials for the roof deck stair access and pergola must match the materials approved for the addition which include smooth fiber cement siding and trim and a painted Trex composite railing.

Staff recommends approval of the application with the condition noted above.

STAFF:

Catherine Miliaras, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Archaeology (from previous BAR report)

Archaeology Comments

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including

Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:

a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

Archaeology Findings

F-1 According to *Historic Alexandria, Virginia, Street by Street* by Ethelyn Cox, Francis Poston purchased the lot in 1802 and by 1815 it was described as “one tenement and a lot of ground.” There is the potential for archaeological resources to be present that could provide insight into domestic activities in early Alexandria.

Code Administration (from previous BAR report)

F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at ken.granata@alexandriava.gov or 703-746-4193.

C-1 Building and trades permits are required for this project. Five sets of *construction documents* sealed by a *Registered Design Professional* that fully detail the construction as well as layout and schematics of the mechanical, electrical, and plumbing systems shall accompany the permit application(s)

C-2 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).

C-3 Any proposed future alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).

C-4 Before a building permit can be issued on any proposed future alterations, a certification is required from the owner or owner’s agent that the building has been inspected by a licensed asbestos inspector for the presence of asbestos.

C-5 The developer shall provide a building code analysis with the following building code data on the plan: a) use group; b) number of stories; c) type of construction; d) floor area per floor; e) fire protection plan; f) occupancy load for each space as well as total occupancy load per floor.

C-6 A soils report must be submitted with the building permit application.

C-7 A Certificate of occupancy shall be obtained prior to any occupancy of the building or portion thereof.

- C-8 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides, with no openings permitted within the wall. As alternative, a 2 hour fire wall may be provided.
- C-9 Rooftop anchorage/installation details must be submitted.
- C-10 When the height of the porch above is > 30" above finished grade porches must have guardrails on open sides. Guardrails and intermediate rails must comply with USBC.
- C-11 Stairs must comply with USBC. Stairways of 3 or more risers require handrails (See rear discharge exterior stairs).
- C-12 The accessible ramp must comply with the requirements of USBC.
- C-13 Required exits, parking, and accessibility within the building for persons with disabilities must comply with USBC Chapter 11.
- C-14 Toilet Rooms for Persons with Disabilities:
 - (a) Water closet heights must comply with USBC 1109.2.2
 - (b) Door hardware must comply with USBC 1109.13
- C-15 Toilet Facilities for Persons with Disabilities: Larger, detailed, dimensioned drawings are required to clarify space layout and mounting heights of affected accessories. Information on door hardware for the toilet stall is required (USBC 1109.2.2).
- C-16 Guardrail height and openings must comply with USBC 1012.2 and 1012.3.
- C-17 Handrails must comply with USBC 1009.10.
- C-18 Structural calculations are required to verify the ability of the existing roof to support the additional weight of the A/C unit.
- C-19 Where appliances are located $\leq 10'$ from a roof edge or open side with a drop $\wedge \geq 24''$, guards shall be provided (USBC 2801.1)
- C-20 Electrical wiring methods and other electrical requirements must comply with USBC and NFPA70, 2008.
- C-21 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-22 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.

- C-23 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Transportation and Environmental Services (T&ES): *(from previous BAR report)*

RECOMMENDATIONS

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R4. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

FINDINGS

***Note to P&Z – I researched and found No Development Plan for this address.*

- F1. After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F2. The adjacent Alleyways shall not be used for construction or obstructed at any time without approval(s). (T&ES)

CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

V. ATTACHMENTS

1 – Supporting Materials

2 – Application for BAR2012-416 at 114 North Patrick Street



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 114 N Patrick Street Zone CD

A2. 2715.24 x 1.5 = 4072.86
Total Lot Area *Floor Area Ratio Allowed by Zone* *Maximum Allowable Floor Area*

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	352	Basement**	352
First Floor	685	Stairways**	27
Second Floor	685	Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
Total Gross *	1722		

B1. Existing Gross Floor Area *
1722 Sq. Ft.
 B2. Allowable Floor Exclusions**
379 Sq. Ft.
 B3. Existing Floor Area minus Exclusions
1343 Sq. Ft.
 (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor	640	Stairways**	142
Second Floor	688	Mechanical**	
Third Floor	69	Other**	
Porches/ Other	350	Total Exclusions	
Total Gross *	1747		

C1. Proposed Gross Floor Area *
1747 Sq. Ft.
 C2. Allowable Floor Exclusions**
142 Sq. Ft.
 C3. Proposed Floor Area minus Exclusions
1605 Sq. Ft.
 (subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 2948 Sq. Ft.
 D2. Total Floor Area Allowed by Zone (A2) 4072 Sq. Ft.

**Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.*

*** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.*

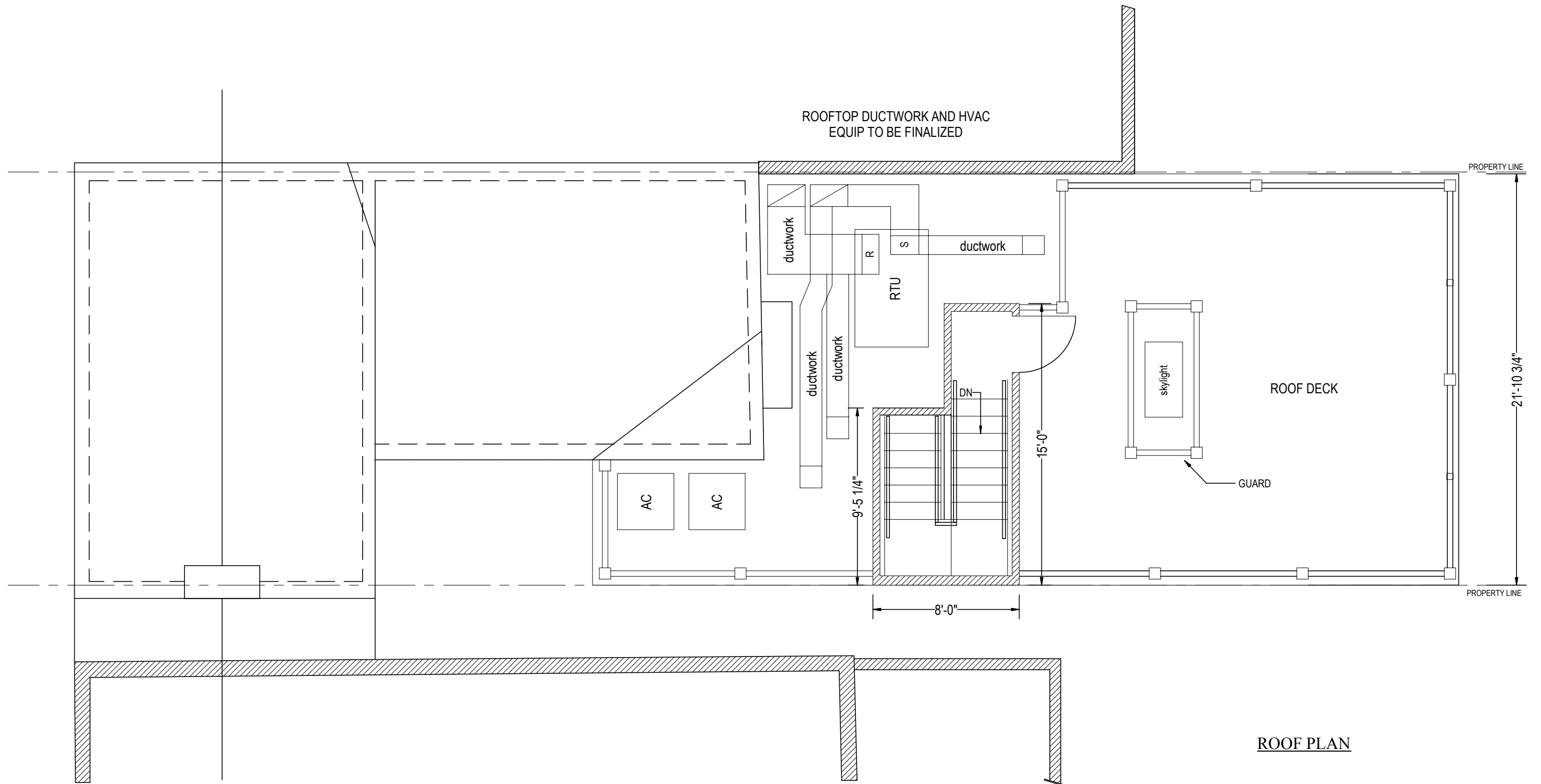
If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

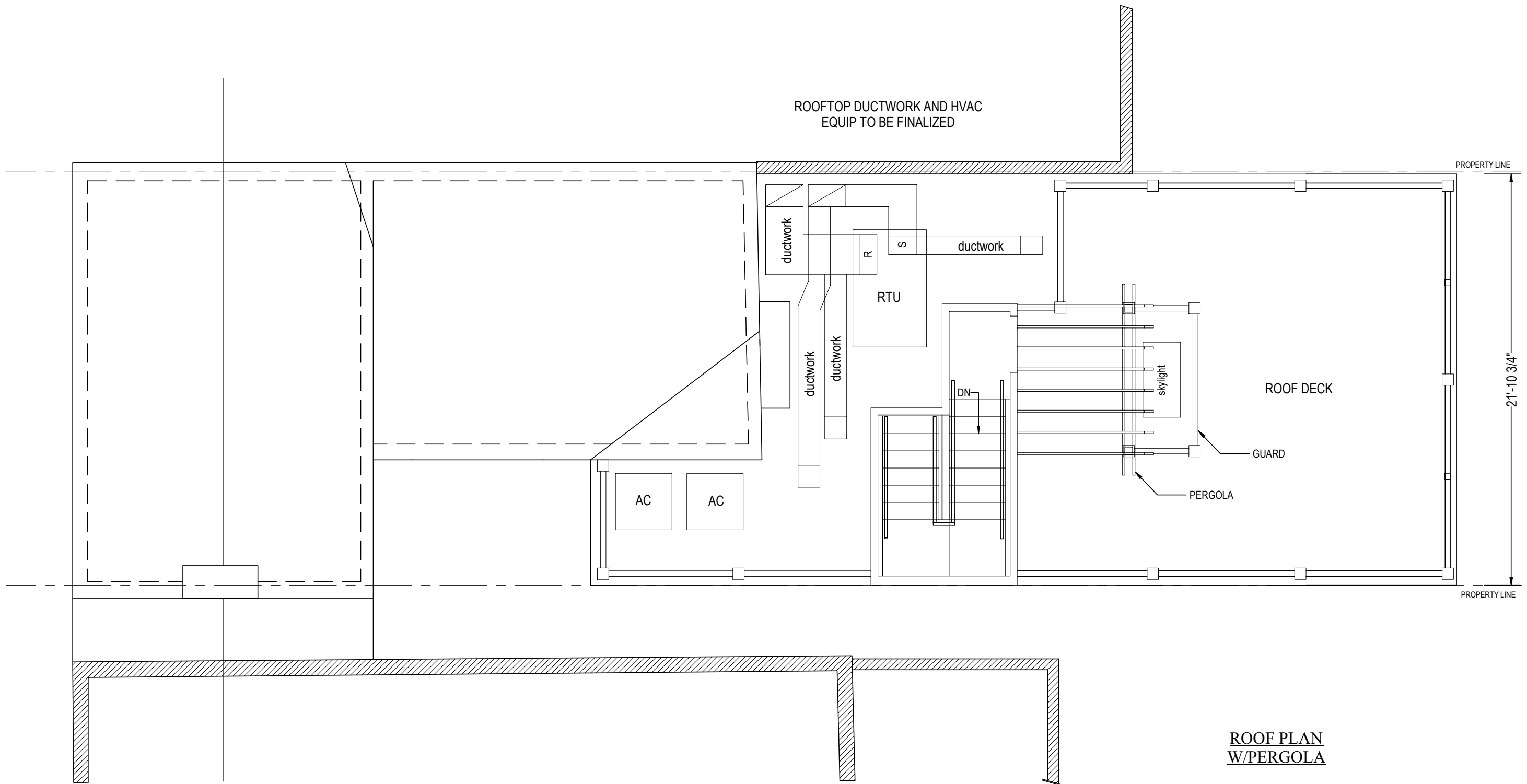
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:  CARTER JONES, AIA Date: 1/7/2012



ROOF PLAN

New Roof Plan
24 December 2012
3/16" = 1'-0"



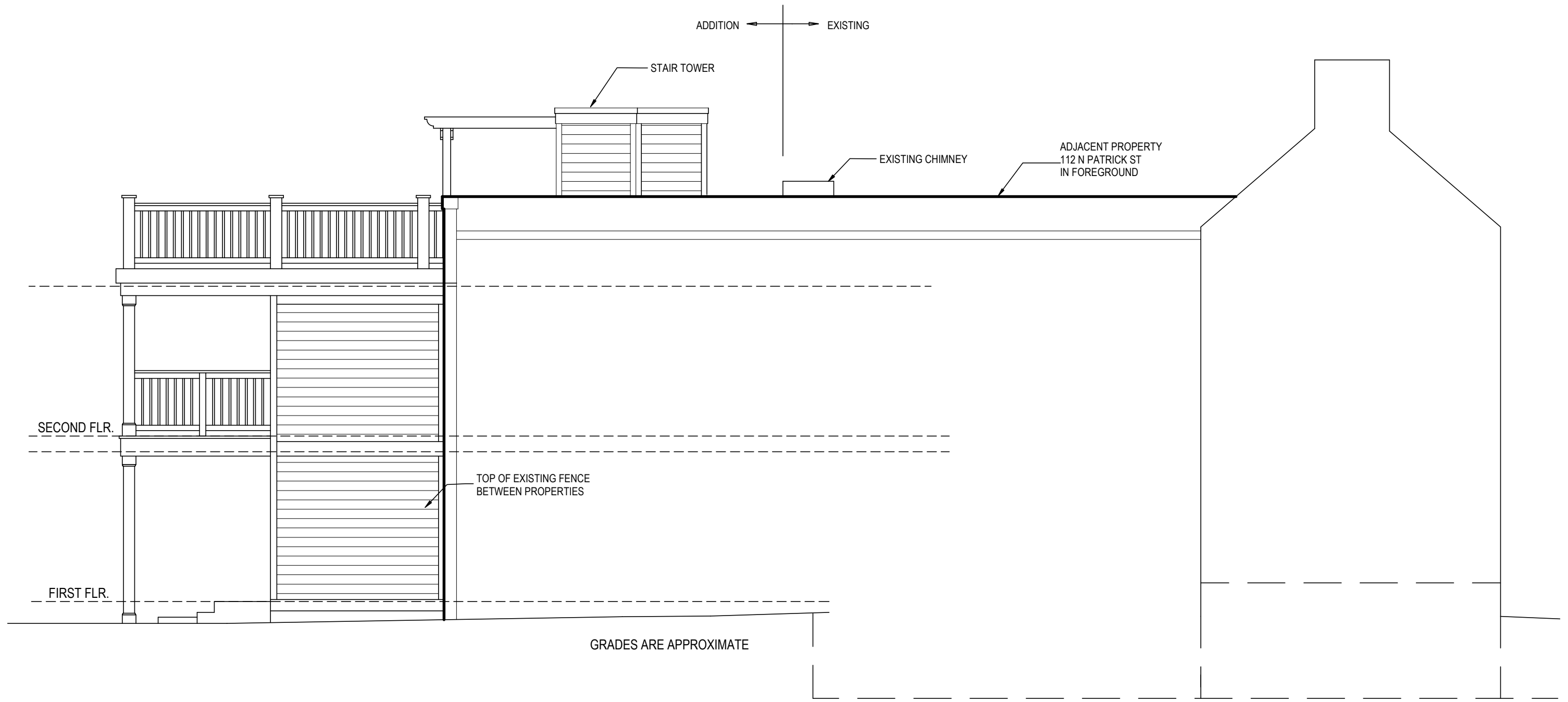
New Roof Plan
24 December 2012
3/16" = 1'-0"



GRADES ARE APPROXIMATE

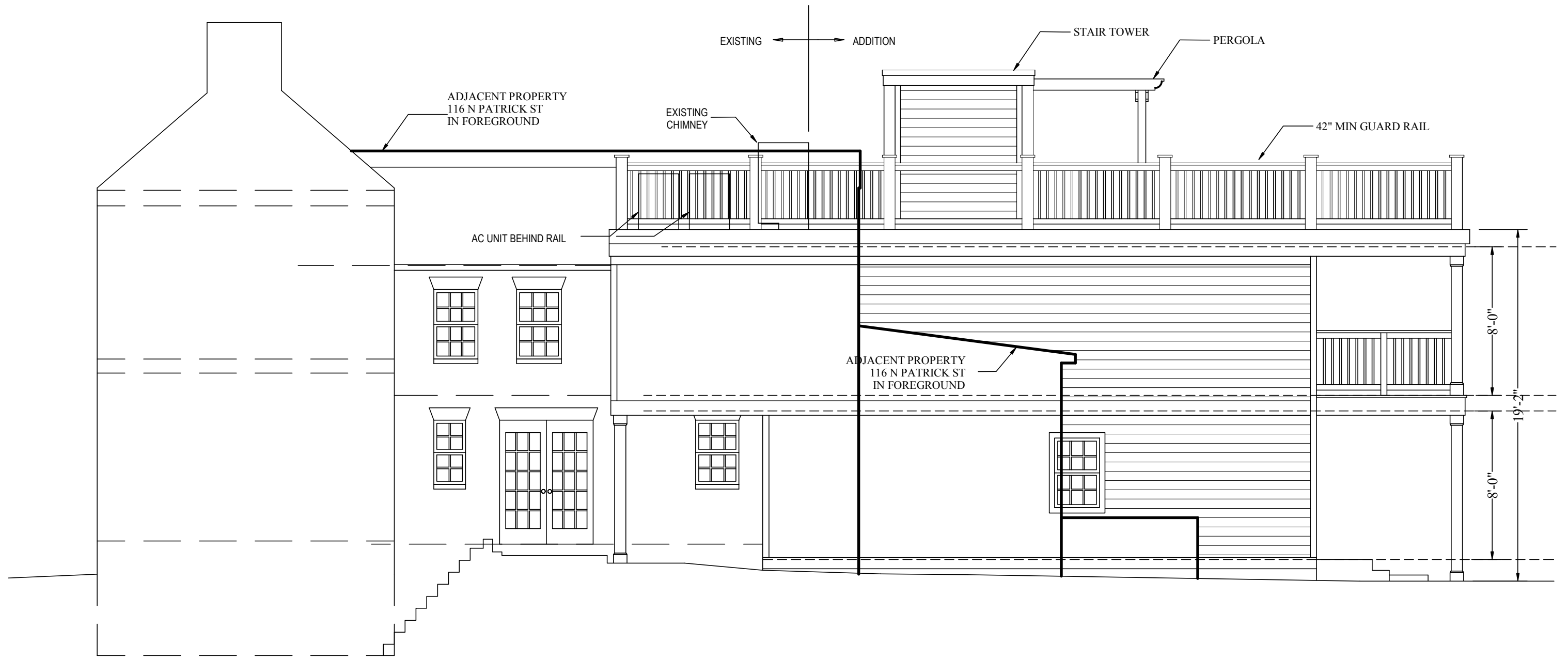
WEST (REAR) ELEVATION

New Elevations
 24 December 2012
 3/16" = 1'-0"



SOUTH (LEFT) ELEVATION

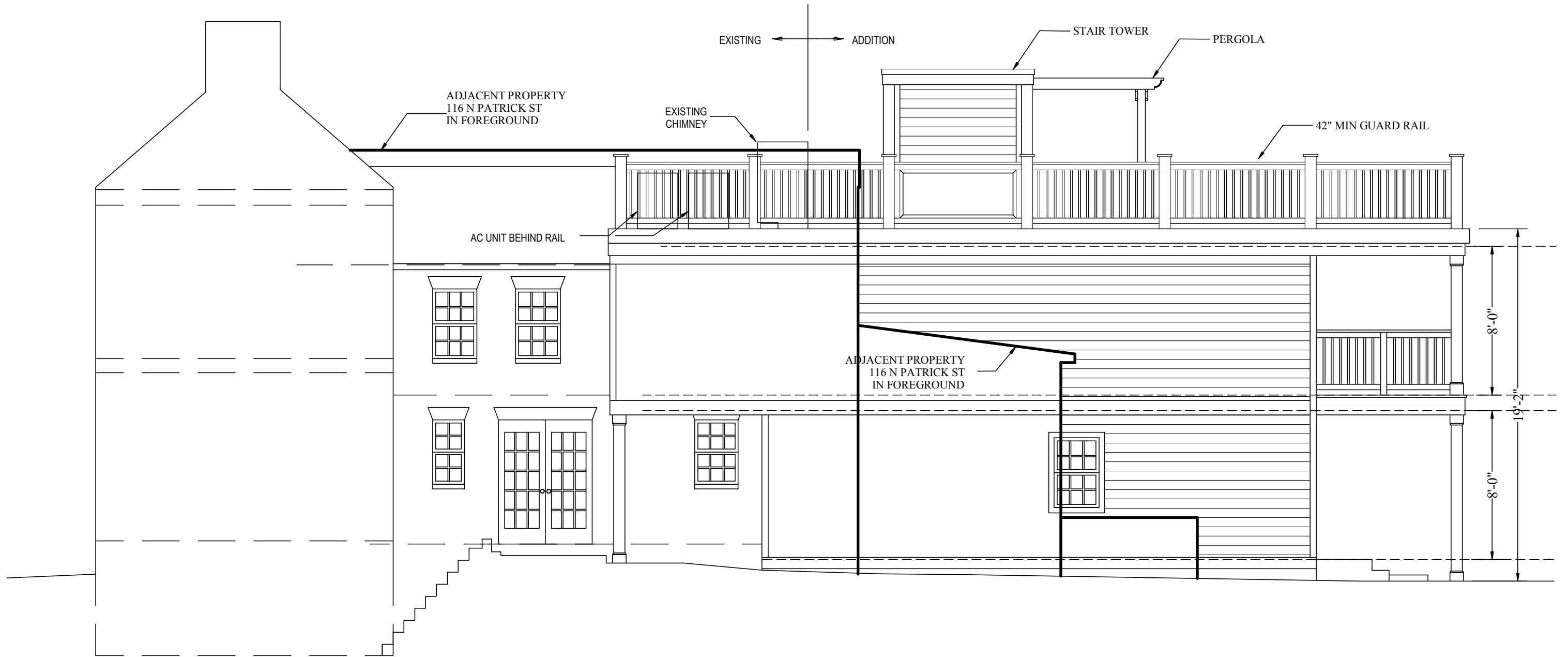
New Elevations
24 December 2012
3/16" = 1'-0"



GRADES ARE APPROXIMATE

NORTH (RIGHT) ELEVATION

New Elevations
24 December 2012
3/16" = 1'-0"



GRADES ARE APPROXIMATE

NORTH (RIGHT) ELEVATION

New Elevations
24 December 2012
3/16" = 1'-0"

BAR Case # BAR2012-00416ADDRESS OF PROJECT: 114 N Patrick StreetTAX MAP AND PARCEL: 064.03-07-18ZONING: CDAPPLICATION FOR: *(Please check all that apply)* CERTIFICATE OF APPROPRIATENESS PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted) WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)* WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*Applicant: Property Owner Business *(Please provide business name & contact person)*Name: Jorge and Lorie NevaresAddress: 3806 Ridgeview RdCity: ArlingtonState: VA Zip: 22207Phone: (703) 216-0645E-mail: nevarespr@aol.comAuthorized Agent *(if applicable)*: Attorney Architect _____Name: Carter Jones, AIAPhone: (703) 837-0025E-mail: carter@benchmark-design.com

Legal Property Owner:

Name: Jorge and Lorie NevaresAddress: 3806 Ridgeview RdCity: ArlingtonState: VA Zip: 22207Phone: (703) 216-0645E-mail: nevarespr@aol.com

- Yes No Is there an historic preservation easement on this property?
 Yes No If yes, has the easement holder agreed to the proposed alterations?
 Yes No Is there a homeowner's association for this property?
 Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning fence, gate or garden wall HVAC equipment shutters
 - doors windows siding shed
 - lighting pergola/trellis painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Request for Modification: We have revised the plans previously approved by the BAR so that there is access to the roof for use as a roof deck. The plans that were previous approved to the BAR included a vegetative roof or roof deck, but did not provide for adequate access. After investigating several options for getting to the roof, we have added a stair tower to provide access, and a small pergola to soften the appearance of the stair structure so that it looks more like a finished part of the building and less like a stairway to the roof. We are using siding and paint colors to match the addition below. The exterior light fixture by the exit door will be the same as the exterior fixtures submitted with the original BAR application.

The ceiling at the top stair landing has been kept to a minimum in order to keep the height of the structure as low as possible. Although we have already included a guard rail to screen the rooftop equipment, the stair tower will provide even greater screening for the equipment that sits behind it.

Based on site line diagrams, the guardrails visually block most of the view of the stair structure from the public alley, but there are some areas where parts of it will be visible.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
 - Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
 - Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
 - Description of the reason for demolition/encapsulation.
 - Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - FAR & Open Space calculation form.
 - Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - Existing elevations must be scaled and include dimensions.
 - Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
 - Square feet of existing signs to remain: _____.
 - Photograph of building showing existing conditions.
 - Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - Location of sign (show exact location on building including the height above sidewalk).
 - Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

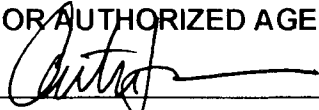
- N/A
- Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items.*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Carter Jones, AIA

Date: 12/24/2012

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. LORIE J. NEVARES	114 N. PATRICK STREET	{ 100%
2. JORGE E. NEVARES	114 N. PATRICK STREET	
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 114 N. PATRICK STREET (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. LORIE J. NEVARES	114 N. PATRICK STREET	{ 100%
2. JORGE E. NEVARES	ALEXANDRIA, VA 22314	
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NONE

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

_____ Date 6/22/12
 _____ Printed Name LORIE J. NEVARES 21
 _____ Printed Name JORGE E. NEVARES
 _____ Signature 