

Docket Item #18
BAR CASE # 2017-00299

BAR Meeting
July 19, 2017

ISSUE: Site Improvements

APPLICANT: City of Alexandria (Department of Project Implementation)

LOCATION: 1 and 2 King Street (Interim Fitzgerald Square)

ZONE: WPR / Waterfront Park and Recreation

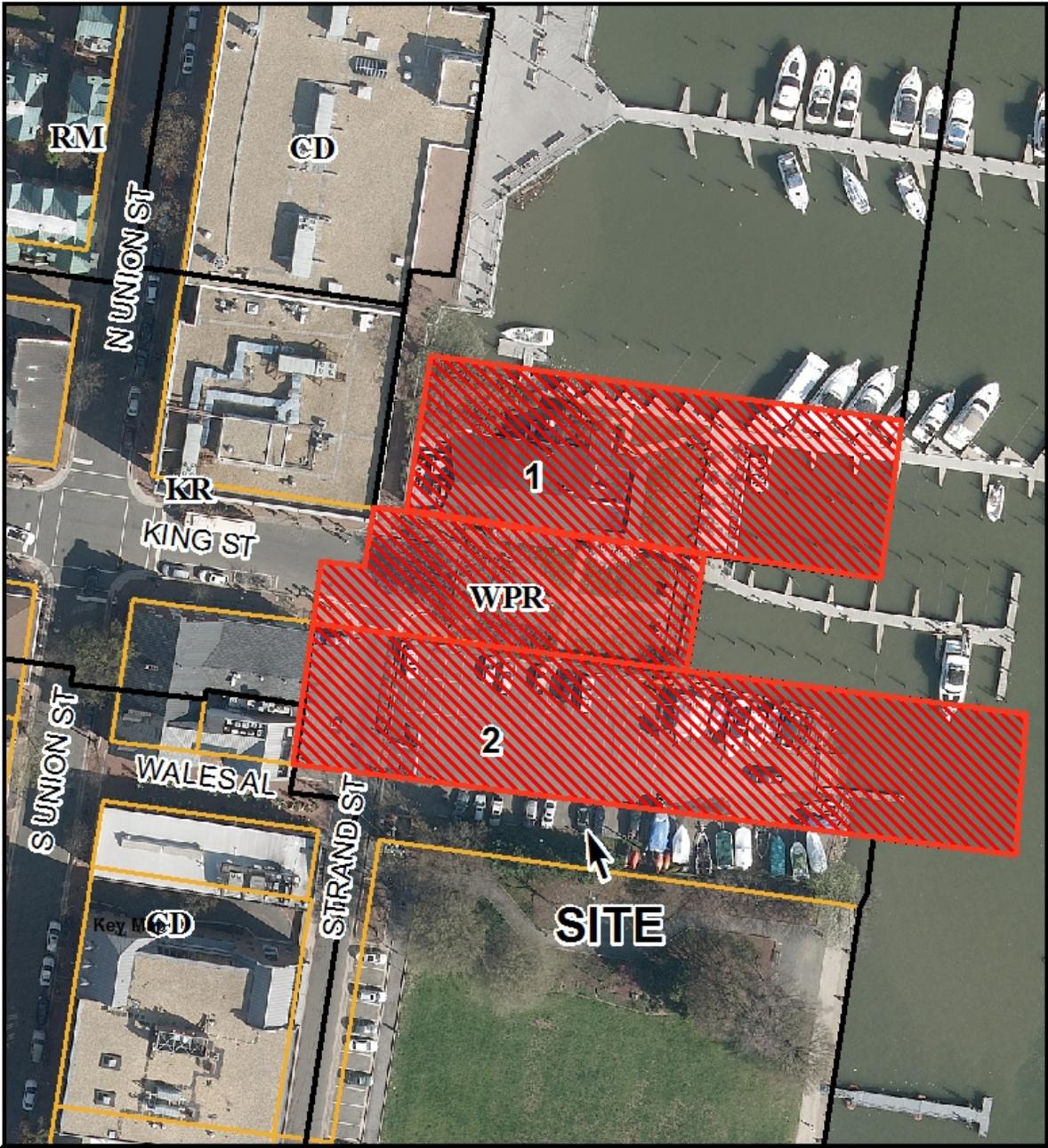
STAFF RECOMMENDATION

Staff recommends approval of the application, as submitted, with the following condition:

1. Final approval of the canvas material and catenary lighting at the shade structure shall be approved by BAR staff as part of the building permit process and the canvas shall be a Sunbrella-type canvas fabric, consistent with the BAR's *Design Guidelines*.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2017-00229
1 & 2 King Street



I. ISSUE

Interim Fitzgerald Square is a temporary city park created as part of the implementation of the Waterfront Plan (adopted in 2012). A primary tenet of the plan was the linking of waterfront parks and open space and creation of a continuous promenade. Interim Fitzgerald Square will quickly create a usable public park while longer term park planning and flood mitigation efforts for the larger waterfront area are underway. The flood mitigation must occur first and then the grades slightly elevated in some of the park areas before the final park improvements may be constructed.

Because the Interim Fitzgerald Square is anticipated to be temporary in nature, the improvements are limited and make use of existing paving and lawn and paving areas. The goal of this interim park is to provide functional and attractive park spaces with durable materials while recognizing that in the future a more permanent design and elements will be constructed. The site improvements requested as part of the Certificate of Appropriateness application include the following:

- Shade structure measuring approximately 24' by 60' with stained (charcoal color) wood posts and canvas canopy (striped)
- Timber retaining walls and planters made of wood and stained a charcoal color
- Two swinging benches in black metal with a powder coat finish
- Black metal handrails at stairs as necessary
- Ground plane materials including lawn with natural grass, lawn with turf, and walkways of concrete (with a brick alternate option) or crushed stone

II. HISTORY

There is an existing small lawn area at the foot of King Street known as King Street Park. The expanded park will include the adjacent land currently at 1 King Street (site of the former Old Dominion Boat Club building and) and 2 King Street (an asphalt parking lot used by the ODBC). The BAR approved a Permit to Demolish on March 15, 2017 to remove the existing boat club building (BAR #2017-00063). The asphalt parking lot will be transferred to the City once the new ODBC clubhouse opens in the late fall of 2017. A complete history and documentation for the site was prepared as part of the Permit to Demolish application.

On May 2, 2017 the Planning Commission approved a Development Site Plan (DSP) and recommended approval of the Special Use Permits and on May 13, City Council approved the Special Use Permits for Interim Fitzgerald Square (DSP 2016-00035 and SUP2017-00016) and a parking reduction for commercial outdoor recreation facilities, outdoor food and craft markets.

III. ANALYSIS

Chapter 10 of the Alexandria zoning ordinance delineates the many purposes of the Old and Historic Alexandria District, one of which includes “to assure that new structures, additions, landscaping, and related elements be in harmony with their historical and architectural setting and environs.” For many years, the BAR’s policy has been to only review permanent, above-grade elements associated with a landscape design such as walls, permanent planters, lighting and the like. In part, the BAR’s purview was limited with landscape design because other City

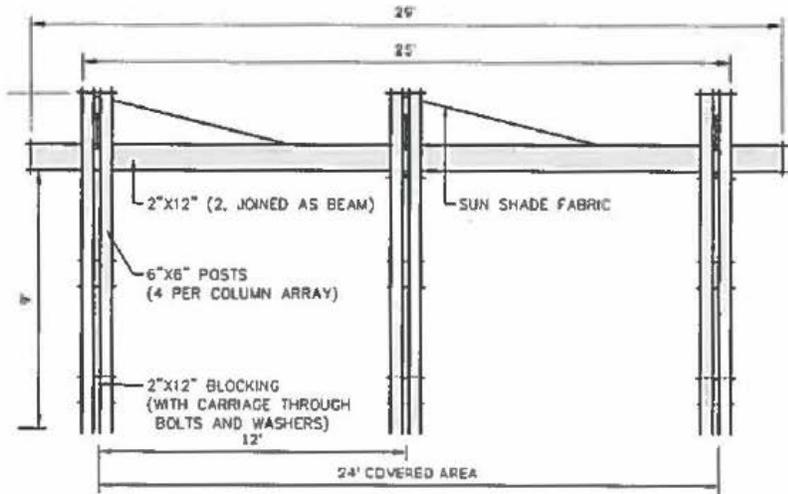
entities such as the Parks and Recreation Commission, Arts Commission, and Waterfront Commission, to name a few, were generally the reviewing bodies for park and public landscape design. However, in several recent projects, the BAR has expressed an interest in reviewing the overall design concept and form of the landscape and plant materials to ensure the appropriateness of its context and setting in the historic district -- without becoming involved in specifying individual plant species. The BAR has, therefore, directed staff to develop a Design Guideline for Public Parks and Infrastructure in the Right-of-Way. The OHAD BAR Design Guidelines committee will meet with BAR, T&ES and Parks Department staff this fall to develop this guideline but no formal BAR policies have been established at this time. Therefore, without specific guidance or policies, the BAR may comment on the general character of the design and how it affects the historical and architectural setting and environs.

In general, staff is very supportive of the design and site features of Interim Fitzgerald Square, with the understanding that it will be a transitional space as more permanent park design occurs. The design successfully links three distinct yet adjacent spaces into a cohesive, flexible whole that will also flow into the existing Waterfront Park to the south. The design also creates functional “rooms” that allow for different forms of use and enjoyment while maintaining a sense of openness and flow, as well as visibility to the park’s greatest asset, the Potomac River.

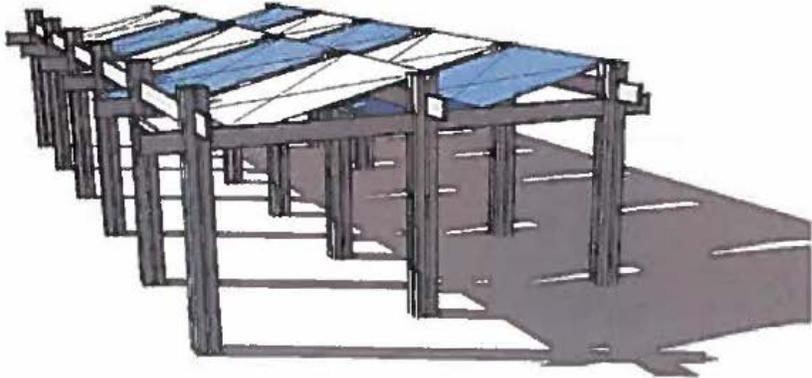
The design includes key elements to encourage the park’s usability, including a large shade structure sited to take advantage of riverfront views as well as engaging seating options such as swinging benches. The shade structure is built of solid and durable materials appropriate for this location such as the stained wood four-piece posts and canvas fabric. Two options were studied for the shade structure. The first alternative, shown in Figure 1 and 2 below, has posts on a 12’ x 12’ grid forming 12 outdoor rooms, 24’ x 60’ overall, covered with a checkerboard of alternating color canvas awnings all sloping up to the north.



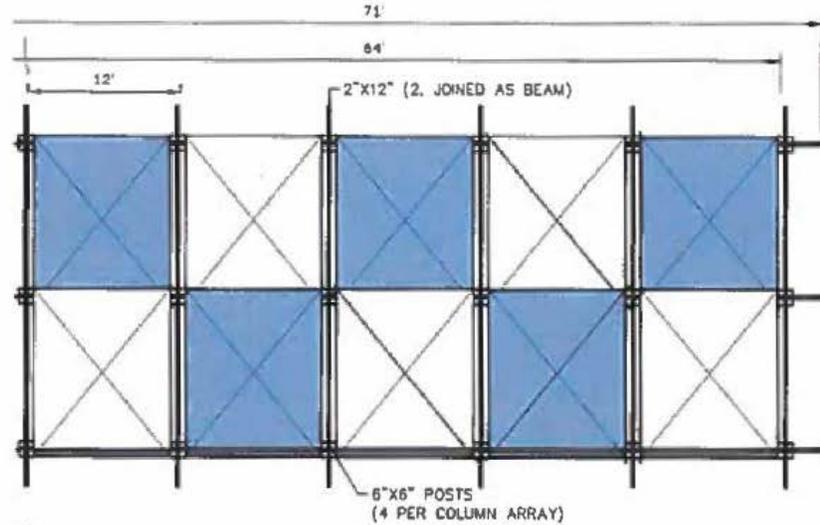
Figure 1: Alternative 1 shade structure



ELEVATION



PLAN



PLAN

Figure 2: Shade structure alternative #1

The second alternative is shown in the application materials. The entire 24' x 60' interior space of the second alternative is column-free, covered by three 18.5' x 24' striped canvas panels whose slopes alternate north and south. For a comparison of scale, the "temporary" stage in Market Square is 20' x 26', or one third the overall size of the proposed shade structure.

While there are advantages to the clear interior space in the second alternative: views thru the park are less obstructed and there are opportunities for larger gatherings, staff is concerned about the size of the canvas awnings and their potential for flapping in a strong breeze. Staff believes the smaller outdoor "rooms" of the first alternative offer the ability to have more intimate gatherings without feeling like one is interrupting another person's personal space in the 24' x 60' room. The smaller canvas panels of the first alternative may also be less prone to damage and easier to repair. Regardless of the alternative chosen by the BAR, staff recommends that final approval of the material for the awning be made by staff as part of the permitting process to ensure that it is truly a fabric type canvas (such as a Sunbrella brand fabric which is a durable, mold and fade-resistant) rather than an inappropriate plastic material.

Additionally, the application shows catenary lights in the shade structure, if the final budget allows, and BAR staff will work with DPI on the location and final details if that is pursued. The swinging benches are compatible with the other benches and trash cans that the BAR has previously approved as City-standard street furnishings. Retaining walls made of wood recall the piers and are an appropriate material for a waterfront setting. The charcoal stained wood will complement the shade structure and weather through the years. The handrails are simple metal forms but should only be installed where necessary for safety reasons. The park will also be an opportunity to install the recently approved Alexandria Historic Street Light and other features from the Waterfront Common Elements, if the budget permits.

In summary, staff recommends approval of the application for site elements at Interim Fitzgerald Square and recommends that the BAR also find the proposed park design to be in harmony with the historical and architectural setting and environs.

STAFF

Catherine K. Miliaras, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

No comments received.

Code Administration

C-1 A Demolition permit will be required along with a building permit, plan review and inspections based on the alterations described in the BAR application.

Transportation and Environmental Services

- C-1 Comply with all requirements of DSP2016-00035. (T&ES)
- C-2 The Final Site Plan must be approved and released and a copy of that plan must be attached to the demolition permit application. No demolition permit will be issued in advance of the building permit unless the Final Site Plan includes a demolition plan which clearly represents the demolished condition. (T&ES)

Alexandria Archaeology

- F-1 The property consists of two lots, each had been located within the Potomac River when the City of Alexandria was founded. By the 1780s, a mud flat was in-filled forming a new shoreline to the west of the western boundary of the project area. After the City granted to adjacent landowners the development rights to the newly formed land, two wharves, one on each lot, were constructed into the Potomac River. Known as Ramsay's and Fitzgerald's/Irwin's wharves after long-term owners, both served Alexandria for nearly 150 years. The two wharves were not static during their 150-year existence. Ownership changed, and structures were constructed and demolished with new structures then built. The structures included waiting rooms and offices for steamship and ferry operators and freight warehouses, with the nature of the buildings providing evidence for the function of the two wharves. While the structures appeared to be of small scale through the end of the nineteenth century, a large brick waiting room and office building was constructed on Ramsay's wharf early in the twentieth century. In the second quarter of the twentieth century, the area between the structures was in-filled. With the in-filling of the two wharves, the Old Dominion Boat Club constructed a club structure and associated parking lot that were separated by King Street Park and an extension of King Street.
- R-1 Although the park improvements proposed in this plan will have little if any impact on the archaeological record, we do ask that the applicant contact Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during this project. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- R-2 The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

V. ATTACHMENTS

- 1 – Supplemental Materials*
2 – Application for BAR 2017-00229: 1 and 2 King Street



Interim Fitzgerald Park

Certificate of Appropriateness

July 19, 2017 – Old and Historic Alexandria District Board of Architectural Review





Interim Fitzgerald Square – Project Limit of Work



Approvals and Construction Timeline

March 15, 2017 – OHAD BAR- Permit to Demolish

May 5, 2017 – Planning commission

May 13, 2017 – City Council

*September 2017 – Anticipated ODBC Certificate of Occupancy (1 Prince Street)

+ 60 days – Anticipated date of City possession (1&2 King Street)

*January 2018 – Anticipated start of IFS demolition and construction



Certificate of Appropriateness Requests

1. Approval of shade structure as submitted.
2. Approval of timber retaining walls and planters as submitted.
3. Approval of swinging bench as submitted.
4. Approval of hand rails as submitted.
5. Approval of ground plane materials as submitted.



Interim Fitzgerald Square





Interim Fitzgerald Square



Flexible Plaza



Flexible Plaza





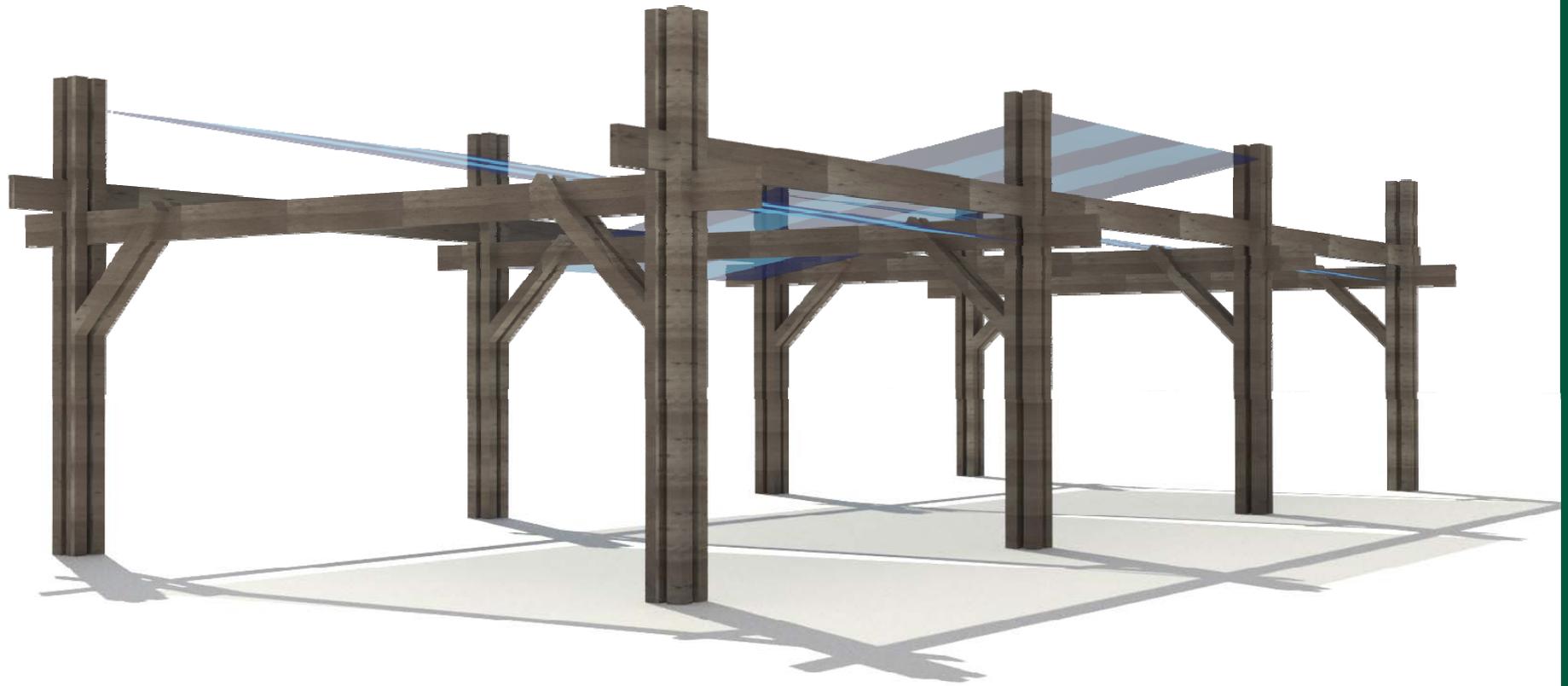
Marina Terrace



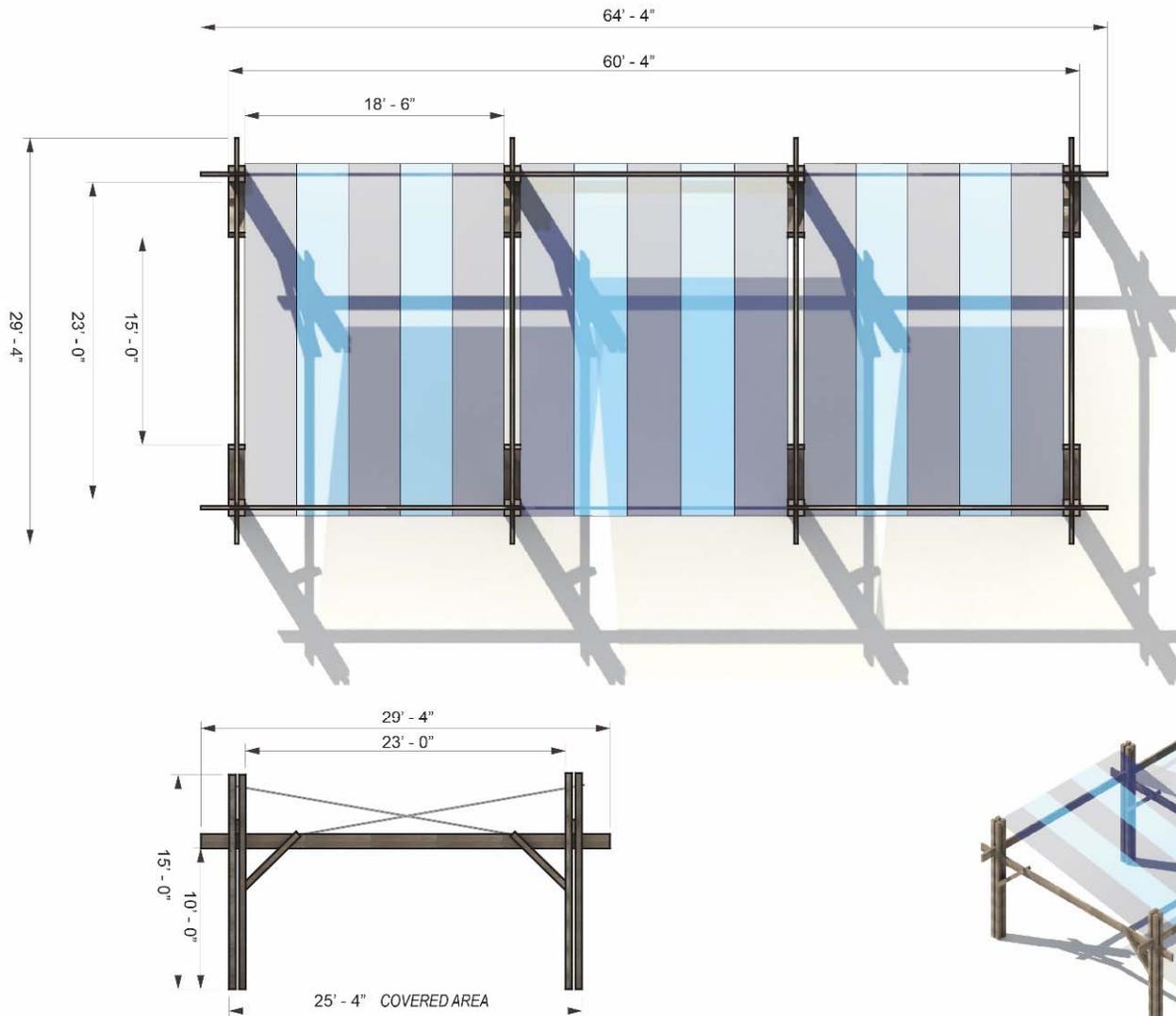
River Terrace



Shade Structure



Shade Structure



Frame Material: Pressure Treated Pine

- 2x12 rafters
- 6x6 posts (4 per column array)

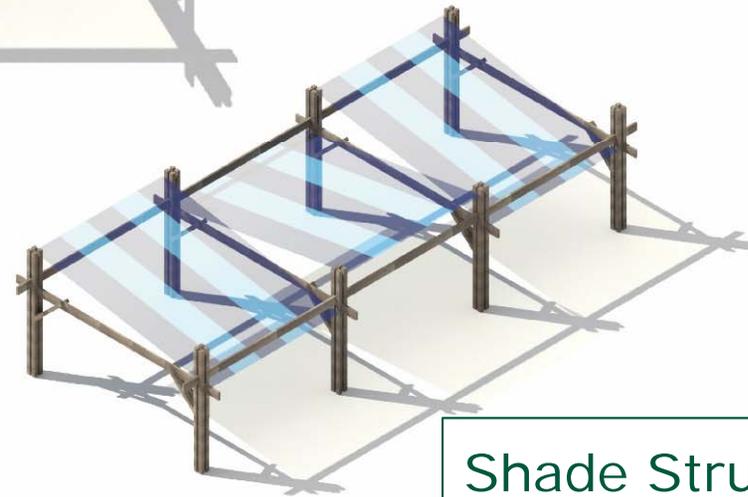
Finish: Charcoal Stain

Fasteners: Galvanized steel,

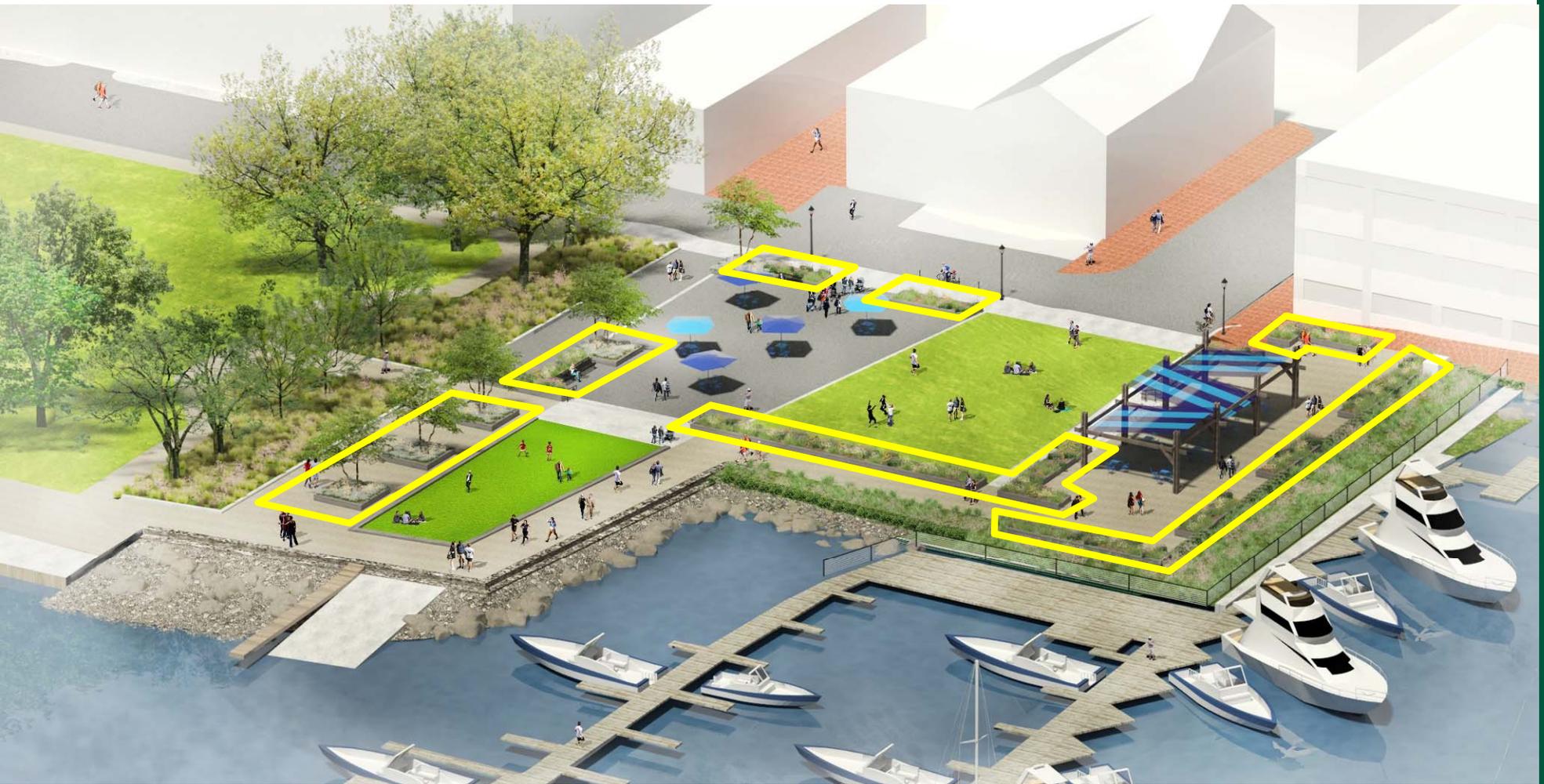
- Anchored below grade to concrete footers

Canopy Materials: Canvas

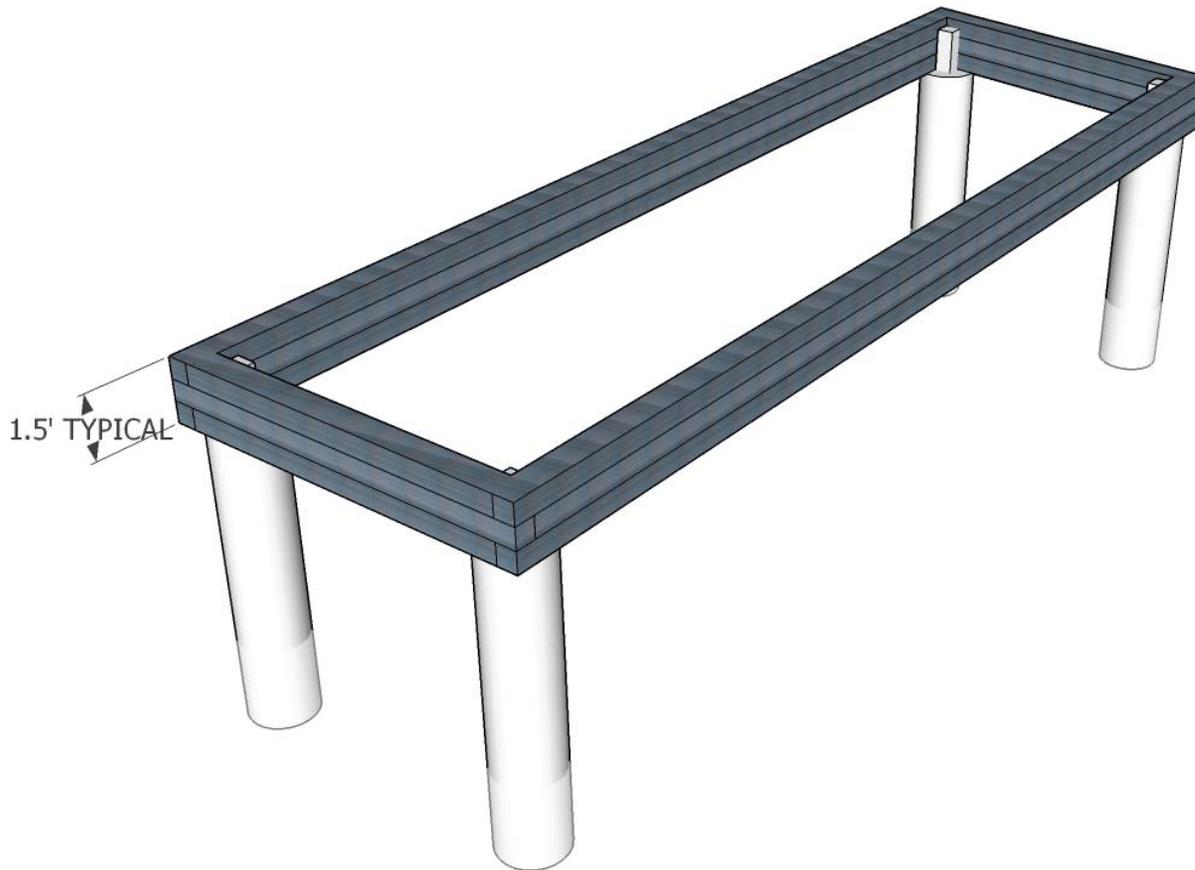
- Fully removable/replaceable.
- Wind rated.



Shade Structure



Planters and Retaining Walls



Materials:
Pressure Treated Pine

- 6x6 posts

Finish:
Charcoal Stain

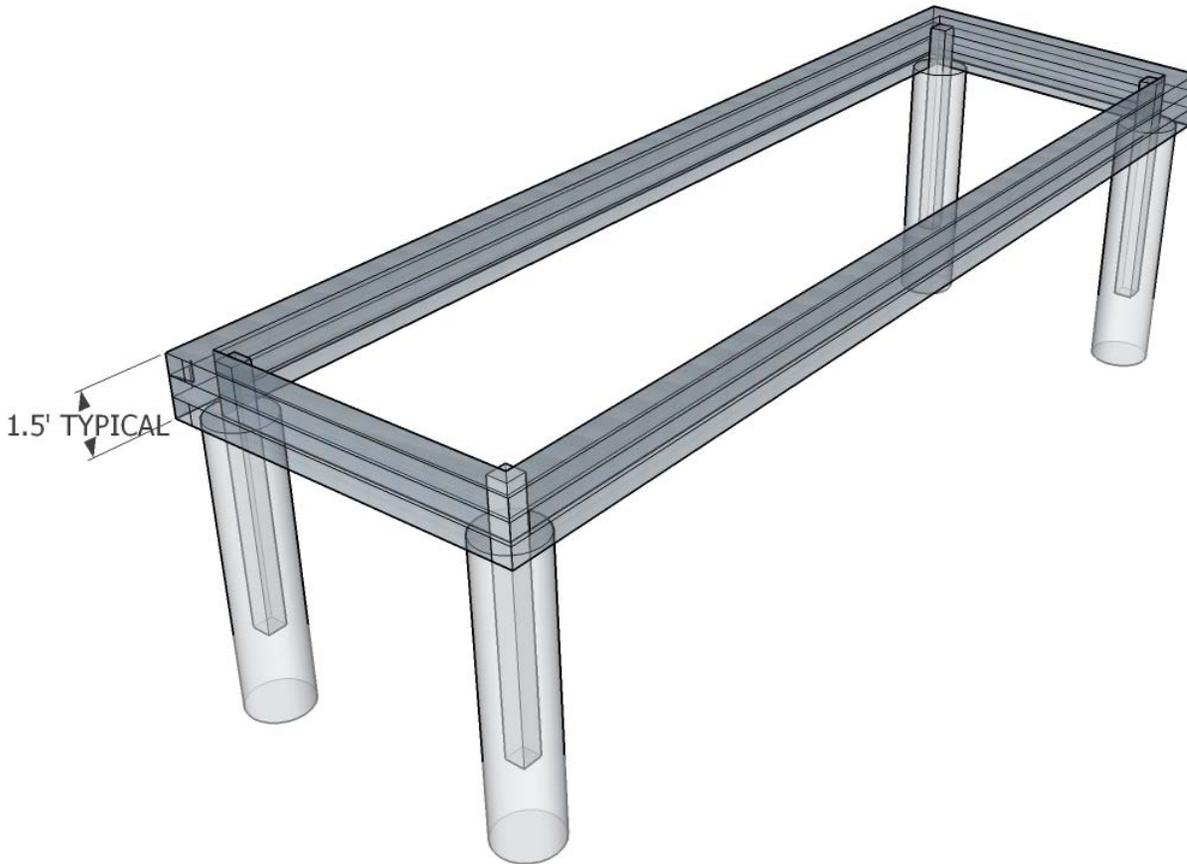
Fasteners:
Galvanized steel spikes and hardware (lags and carriage bolts)

Notes:
Height per plan (generally 18" for planters)

Anchored below grade with corner post footings sunk below frost depth.

Planters / Retaining Walls





Materials:
Pressure Treated Pine

- 6x6 posts

Finish:
Charcoal Stain

Fasteners:
Galvanized steel spikes and hardware (lags and carriage bolts)

Notes:
Height per plan (generally 18" for planters)

Anchored below grade with corner post footings sunk below frost depth.

Planters / Retaining Walls



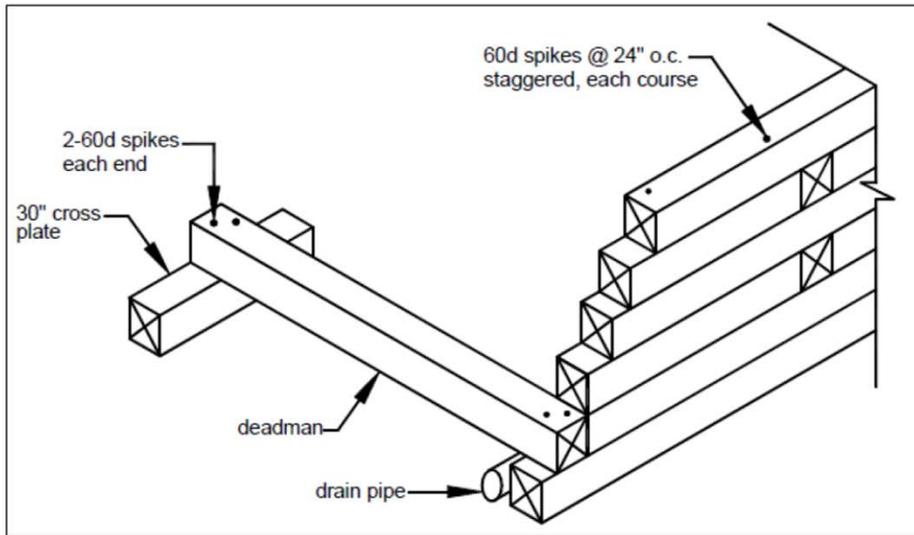


FIGURE 3: TYPICAL DEADMAN DETAIL

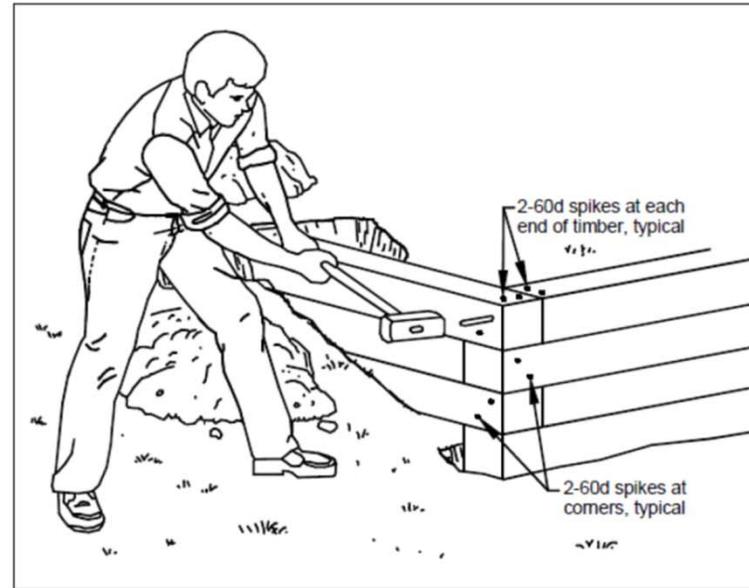


FIGURE 4: TYPICAL CORNER DETAIL

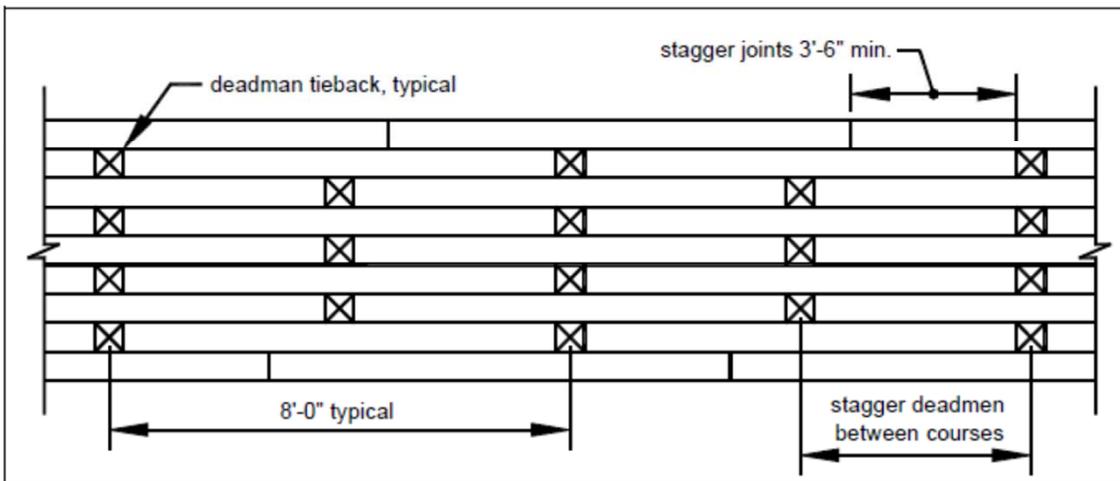


FIGURE 1: TYPICAL ELEVATION

Construction details per the City of Alexandria Typical Retaining Wall Details Package

Planters / Retaining Walls



Gliding Benches



Manufacturer: Columbia Cascade

Model: 2810-6 Glider Bench

Materials: Steel

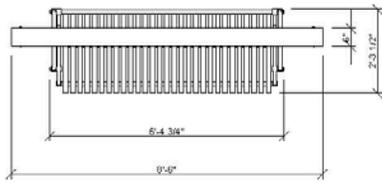
Finish: Black, powder coat finish

Notes: Gliding range limited

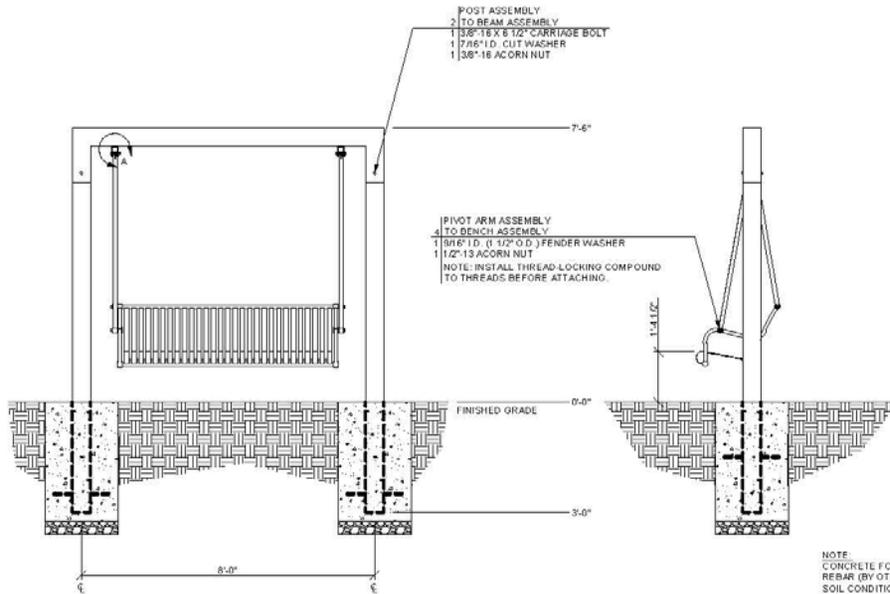


Gliding Benches



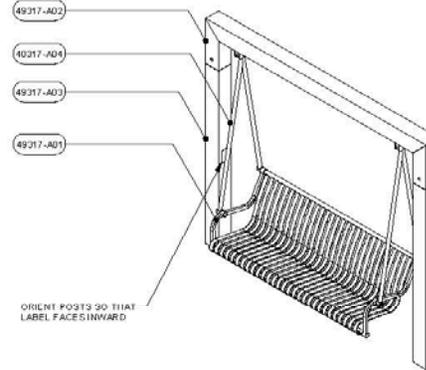


TOP VIEW
SCALE: 1/2"=1'-0"

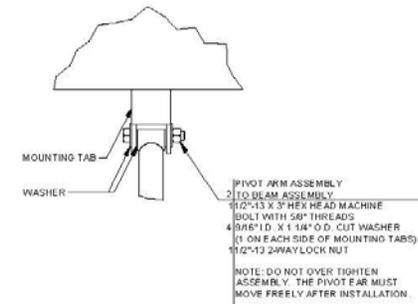


FRONT VIEW
SCALE: 1/2"=1'-0"

SIDE VIEW
SCALE: 1/2"=1'-0"



ISOMETRIC VIEW
SCALE: 1/2"=1'-0"



DETAIL A
SCALE: 3"=1'-0"

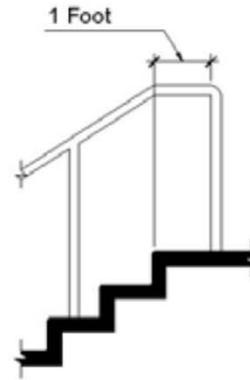
Gliding Benches



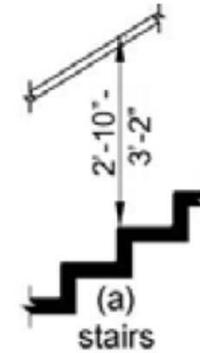
Hand Rails at Stairs



Hand rail at stair



Hand rail at top stair (1)



Hand rail heights (2)

Materials: Galvanized Steel or aluminum

Finish: Black, powder coat finish

Notes:

- Hand rails shall be installed consistent with state and local building code and federal ADA standards.
- Handrails provided on both sides of stair.
- Metal products shall have smooth welds, joints, and properly treated corners.

Handrail Details



Ground Plane Materials



Ground Plane Materials – City Standard Concrete Walk (Brick Alternate)



Ground Plane Materials – Asphalt (City Standard)



Ground Plane Materials – Crushed Stone Path (City Standard)



Ground Plane Materials – Synthetic Turf



Ground Plane Materials – Natural Turf



Security Fence – by others – Not Submitted for review/approval



Certificate of Appropriateness Requests

1. Approval of shade structure as submitted.
2. Approval of timber retaining walls and planters as submitted.
3. Approval of swinging bench as submitted.
4. Approval of hand rails as submitted.
5. Approval of ground plane materials as submitted.

BAR Case # _____

ADDRESS OF PROJECT: 1 and 2 King Street - Alexandria, VA 22314

TAX MAP AND PARCEL: 075.01-04-05, 075.01-05-04 ZONING: WPR

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: City of Alexandria - c/o Department of Project Implementation

Address: 301 King Street, Suite 3200

City: Alexandria State: VA Zip: 22314

Phone: 703-746-4045 E-mail: anthony.gammon@alexandriava.gov

Authorized Agent *(if applicable)*: Attorney Architect City representative

Name: Anthony Gammon, Deputy Director - Project Implementation Phone: 703-746-4045

E-mail: anthony.gammon@alexandriava.gov

Legal Property Owner:

Name: The City of Alexandria - ATTN: Joanna Anderson

Address: 301 King Street Suite 1300

City: Alexandria State: VA Zip: 22314

Phone: 703-746-3750 E-mail: joanna.anderson@alexandriava.gov

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

BAR Case # _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached)* THE PROPOSED DEVELOPMENT, KNOWN AS INTERIM FITZGERALD SQUARE, WILL CREATE AN TEMPORARY CITY PARK FOLLOWING THE MOVE OF THE ODBC CLUBHOUSE AND PARKING LOT FUNCTIONS TO A NEW WATERFRONT LOCATION SOUTH OF THIS SITE. THE CURRENT ODBC DOCKS WILL REMAIN AND ACCESS WILL BE CONTROLLED AND RETAINED FOR THE ODBC. THE INTERIM PARK WILL REMAIN IN PLACE UNTIL THE FINAL FITZGERALD SQUARE CONDITION WILL BE CONSTRUCTED IN THIS LOCATION. REFER TO THE ATTACHED CONCEPT EXHIBIT/SITE PLAN.

INTERIM FITZGERALD SQUARE WILL CREATE A NEW PUBLIC PARK AND AMENITY SPACE ALONG THE POTOMAC RIVER. THE PARK IS DIVIDED INTO SEVERAL PROGRAMMATIC AREAS. TO THE NORTH, ON THE SITE OF THE DEMOLISHED ODBC BUILDING, WILL BE A MARINA TERRACE WITH SHADE STRUCTURE FOR SITTING AND DINING. IN THE CENTER WILL BE A LAWN AND PLANTINGS SURROUNDED BY SEATING AREAS. TO THE SOUTH WILL BE A FLEXIBLE EVENT SPACE THAT UTILIZES THE OLD ODBC PARKING LOT SURFACE TO CREATE A PUBLIC PLAZA WITH MOVEABLE PLANTERS AND SEATING. ALONG THE WATER WILL BE A RIVER TERRACE FOR SITTING AND RELAXING UNDER SHADE TREES. ALL AREAS ARE LINKED BY A RIVERFRONT PROMENADE THAT CONNECTS THE PROJECT TO THE TORPEDO FACTORY TO THE NORTH AND WATERFRONT PARK TO THE SOUTH. ALTHOUGH SPECIAL EVENTS ARE NOT THE FOCUS OF THE INTERIM PARK DESIGN, EACH OF THE PROGRAMMATIC AREAS IS DESIGNED FOR FLEXIBILITY TO ACCOMMODATE OCCASIONAL SEASONAL EVENTS.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the minimum supporting materials for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

A PERMIT TO DEMOLISH HAS ALREADY BEEN OBTAINED PER PREVIOUS BAR ACTION AND APPROVAL.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project

- N/A
- Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - FAR & Open Space calculation form.
 - Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - Existing elevations must be scaled and include dimensions.
 - Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project

- N/A
- Linear feet of building: Front: _____ Secondary front (if corner lot): _____
 - Square feet of existing signs to remain: _____
 - Photograph of building showing existing conditions.
 - Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - Location of sign (show exact location on building including the height above sidewalk).
 - Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A
- Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items.

- N/A I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: AG on behalf of REG

Printed Name: Anthony Gammon, Deputy Director - Project Implementation

Date: 6/19/17

OWNERSHIP AND DISCLOSURE STATEMENT
Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. City of Alexandria		100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 1 and 2 King Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. City of Alexandria		100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

6/19/17 Anthony Gammon *Anthony Gammon*
 Date Printed Name Signature



United States Department of the Interior

NATIONAL PARK SERVICE
700 George Washington Memorial Parkway
McLean, Virginia 22101

IN REPLY REFER TO:
L3000B

JUL 14 2017

Alexandria Board of Architectural Review
City of Alexandria, Town Hall
300 King Street
Alexandria, VA 22314-3212

Reference:

BAR Case: 2017-00217 (600 N. Washington Street)
BAR Case: 2017-00229 (Interim Fitzgerald Park, 1 and 2 King Street)
BAR Case: 2017-00230 (City Marina, 107 S Union, and 2 Queen Street)

Dear Sir/Madam,

The following are George Washington Memorial Parkway's (Parkway) comments on the above referenced proposals:

BAR #2017-00217 (600 N. Washington Street)

- Appreciate the consolidation of the ATM with the drive-thru and therefore the removal of the ATM from the Pendleton Street façade. Continuing the brick façade with similar brick style, pattern, and mortar will declutter the façade.
- However, it is unclear from the elevation drawings, whether the partial roof structure over the ATM will be removed as well (the note calls out for the removal of the ATM *and surround*). Consider the removal of the partial roof structure, above the ATM – replace with similar brick style, pattern, and mortar.

BAR #2017-00229 (Interim Fitzgerald Square Park)

- NPS' purview includes the street ends of King Street and Wales Alley. The proposed terminations align with the 1981 deed agreement between the City of Alexandria and the US Government – for the street ends to be reserved for pedestrian and non-motorized traffic.
- The proposed development is a welcomed improvement to the waterfront.
- One of the restrictions listed in the agreement was the provision of a pedestrian walkway and bike path running in the north-south direction, set at a minimum width of 25'. Although the Waterfront Plaza*, adjacent to Interim Fitzgerald Square Park, do not currently have a 25' width walk/bike-way, and it is assumed that the new promenade draws from the width of the existing pathways of Waterfront Plaza at 12' width, consider enlarging the walkways to a 25' width. These two parks will work in concert with each other.

**The US Government has a scenic easement at Waterfront Plaza (Parcel B) and a title to the submerged lands of the Potomac River contiguous to the park*

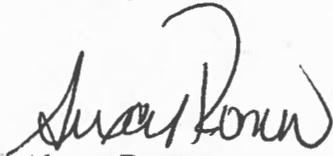
BAR #2017-00230 (City Marina)

- The proposed utility improvement will demolish 45 existing light fixtures (substandard light and electric service) and install 40 new Marine Power Pedestals with lights, along the piers (A/B, E/F, G/H) of the marina. We hope that the new light fixture will be consistently utilized throughout the waterfront.
- The selective demolition of the piles (faux or cut flush to the boardwalk) is noted to not trigger a permit process with the National Park Service of the Army Corps of Engineers.

**The US Government has a scenic easement at 211 Harbor Center (Parcel C) and a title to the submerged lands of the Potomac River contiguous to the park*

Thank you for the opportunity to comment on the architecture that affects the Parkway. If you have any questions, please contact Jason Newman, Chief of Lands, Planning and Design at 703-289-2515.

Sincerely,



Alexcy Romero
Superintendent
George Washington Memorial Parkway