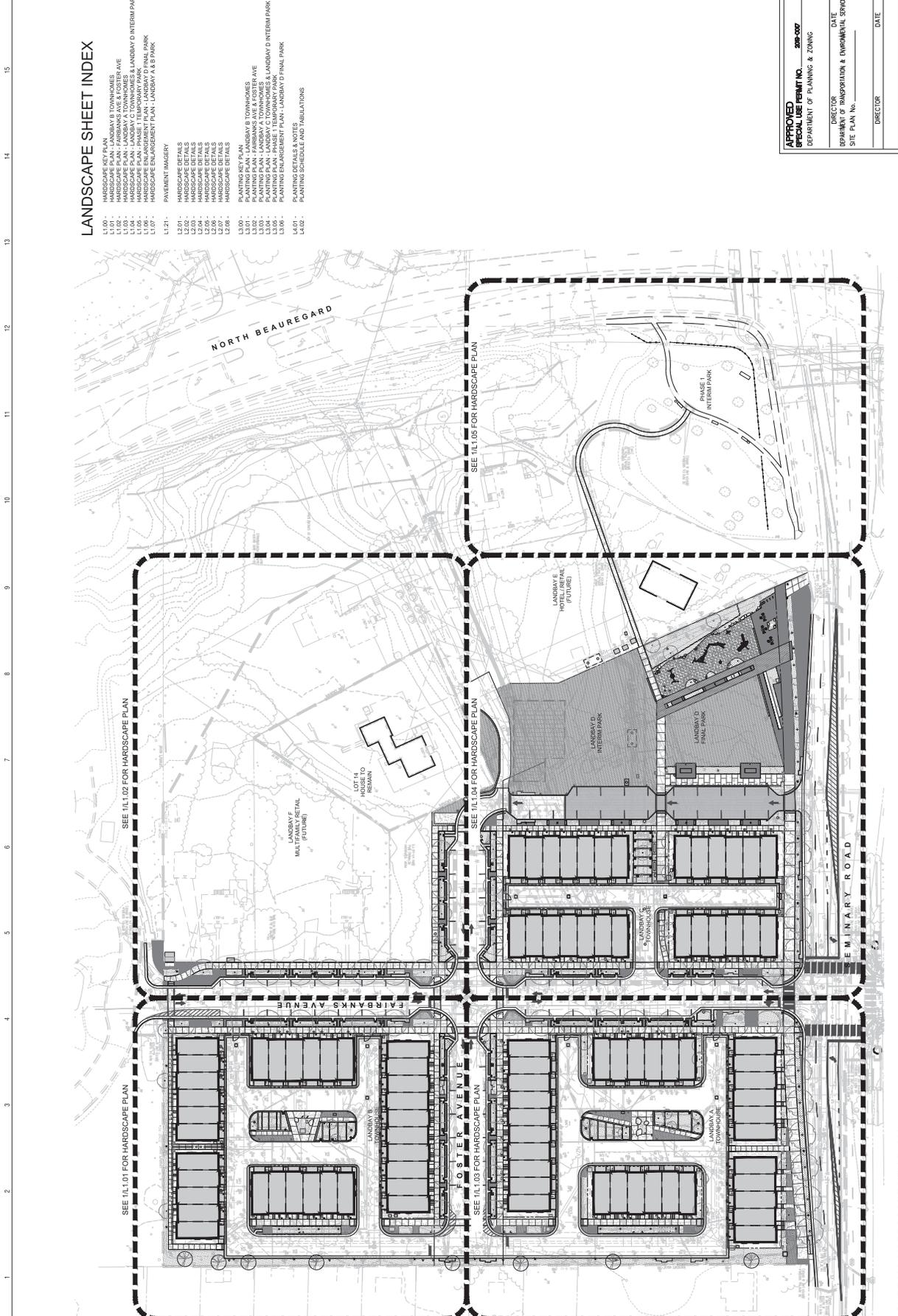




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OSIP SUBMISSION#1	7/24/2020
OSIP SUBMISSION#2	10/20/2020
OSIP SUBMISSION#3	10/20/2020
OSIP SUBMISSION#4	10/20/2020
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OSIP #100	11/10/2022

PROJECT NO. 19037  
SCALE: As Shown  
DRAWN BY: [Name]  
REVIEWED BY: [Name]

**L1.00**  
OVERALL HARDSCAPE KEY PLAN



- LANDSCAPE SHEET INDEX**
- L1.01 - HARDSCAPE PLAN - LANDBAY B TOWNHOMES
  - L1.02 - HARDSCAPE PLAN - LANDBAY A TOWNHOMES
  - L1.03 - HARDSCAPE PLAN - LANDBAY C TOWNHOMES & LANDBAY D INTERIM PARK
  - L1.04 - HARDSCAPE ENLARGEMENT PLAN - LANDBAY D FINAL PARK
  - L1.05 - HARDSCAPE ENLARGEMENT PLAN - LANDBAY A & B PARK
  - L1.06 - HARDSCAPE ENLARGEMENT PLAN - LANDBAY A & B PARK
  - L1.07 - HARDSCAPE ENLARGEMENT PLAN - LANDBAY A & B PARK
  - L1.21 - PAVEMENT IMAGERY
  - L2.01 - HARDSCAPE DETAILS
  - L2.02 - HARDSCAPE DETAILS
  - L2.03 - HARDSCAPE DETAILS
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  - L3.00 - PLANTING KEY PLAN
  - L3.01 - PLANTING PLAN - LANDBAY B TOWNHOMES
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  - L3.03 - PLANTING PLAN - LANDBAY C TOWNHOMES & LANDBAY D INTERIM PARK
  - L3.04 - PLANTING PLAN - PHASE 1 TEMPORARY PARK
  - L3.05 - PLANTING ENLARGEMENT PLAN - LANDBAY D FINAL PARK
  - L4.01 - PLANTING DETAILS & NOTES
  - L4.02 - PLANTING SCHEDULE AND REGULATIONS

**APPROVED SPECIAL USE PERMIT NO. 208-2007**

DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF PLANNING & ZONING	AS SHOWN
SITE PLAN NO.	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
RETRIEVAL NO.	DEED BOOK NO.
	PAGE NO.









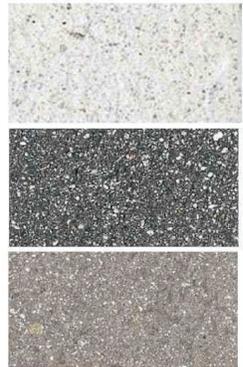




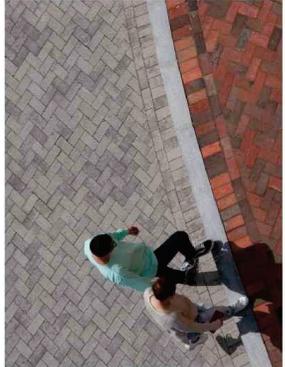




**P1 - 5" THICK SCORED CONCRETE PAVEMENT WITH SAWCUT JOINTS PER LAYOUT PLAN**



**P5 - CONCRETE PLANK PAVES**  
MANUFACTURER: HANOVER  
SIZE: 3.25X18X4"  
COLOR/FINISH: 50% LIMESTONE GRAY/25% CHARCOAL-25% GLACIER WHITE, TUDOR FINISH  
PATTERN: 1/2 RUNNING BOND



**VP1 - VEHICULAR PERMEABLE CONCRETE PAVES**  
MANUFACTURER: HANOVER  
SIZE: 4X8X3"  
COLOR/FINISH: CHARCOAL BLEND, TUDOR FINISH  
PATTERN: 45 DEGREE HERRINGBONE



**P2 - LARGE FORMAT CONCRETE PAVES**  
MANUFACTURER: HANOVER  
SIZE: 12X18X3" COLOR/FINISH: CHARCOAL, TUDOR FINISH  
PATTERN: 1/2 RUNNING BOND



**P6 - 3-5" DELAWARE RIVERSTONE OR APPROVED EQUAL IN BMP PLANTERS**



**VP2 - VEHICULAR CONCRETE CROSSWALK PAVES**  
MANUFACTURER: HANOVER  
SIZE: 4X8X3"  
COLOR/FINISH: RED/CHARCOAL BLEND, TUDOR FINISH  
PATTERN: 45 DEGREE HERRINGBONE



**P3 - 4" THICK STAMPED CONCRETE SPLASH BAND;**  
COLOR: DARK GRAY  
PATTERN: 6X6" SQUARES



**P7 - ENGINEERED WOOD FIBER;**  
TO MEET CITY STANDARD



**VP3 - VEHICULAR CONCRETE RAMP;**  
COLOR: DARK GRAY  
PATTERN: 6X6" SQUARES



**#237 Cambridge Modular Paver by Redland Brick**  
**P4 - BRICK PAVERS;**  
TO MATCH CITY STANDARD,  
SIZE: 4X8X2-1/4"  
PATTERN: 1/2 RUNNING BOND



**P8 - DETECTABLE WARNING PAVERS;**  
SIZE: 12X12X2";  
COLOR: CHARCOAL  
PATTERN: STACKED



**OTHER - TEMPORARY ASPHALT**

SEAL



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REVISION #19	11/10/2022
REVISION #20	11/10/2022

PROJECT NO.	SCALE
10037	AS SHOWN

DRAWN BY:	REVIEWED BY:
TD	HR

**L1.21**  
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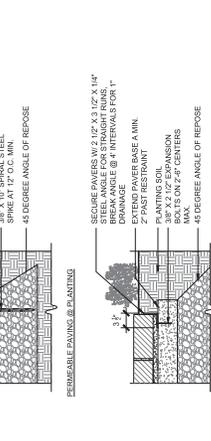
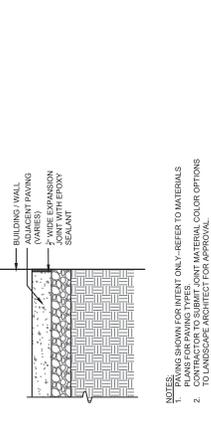
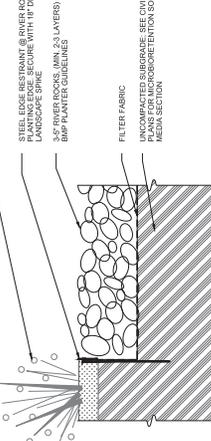
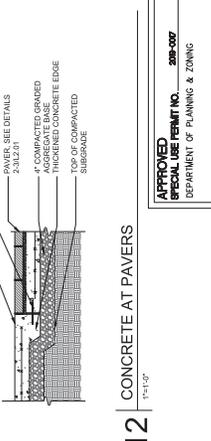
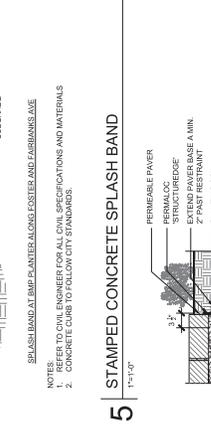
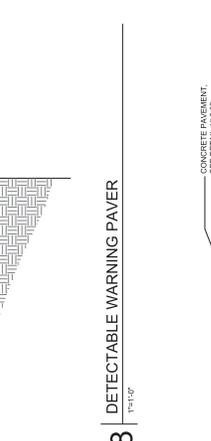
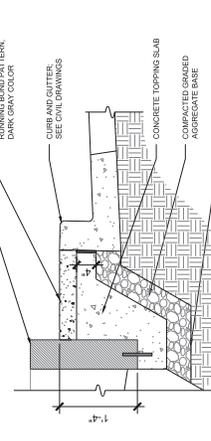
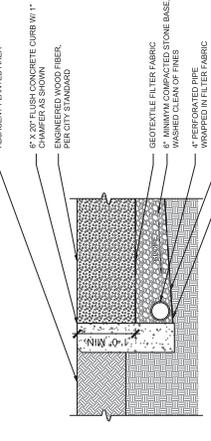
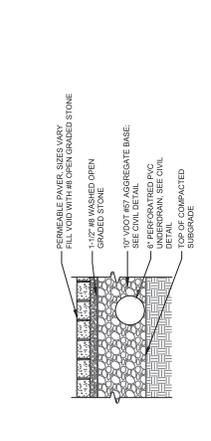
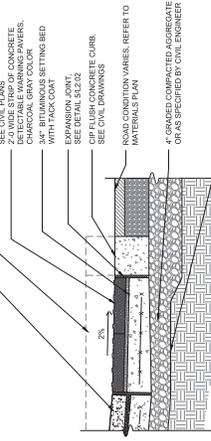
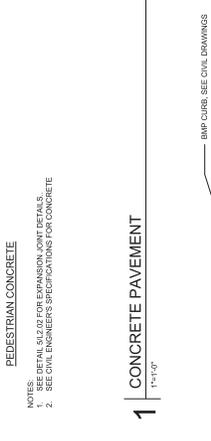
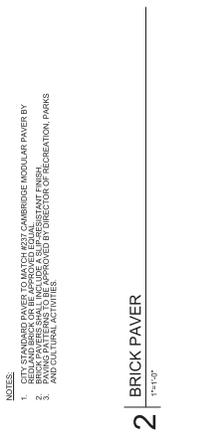
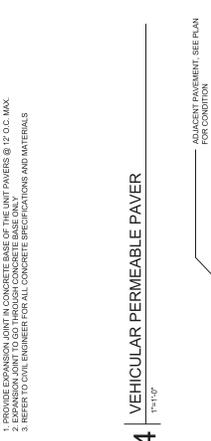
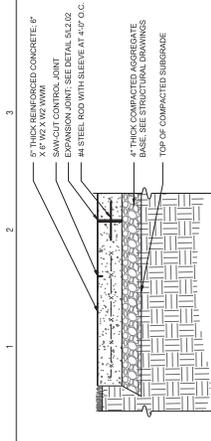
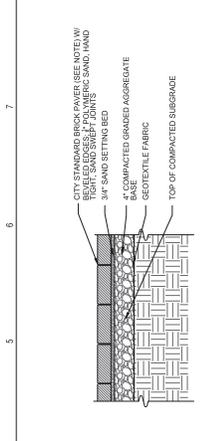
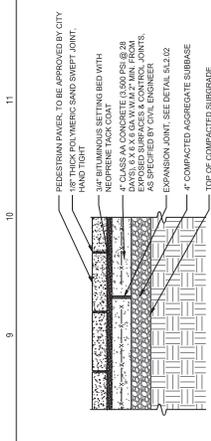
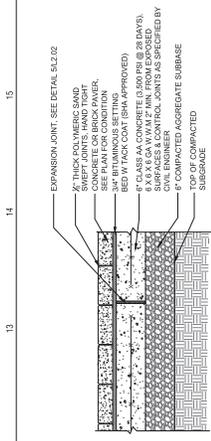
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208-208	

DIRECTOR	DATE

DIRECTOR	DATE

CHAIRMAN, PLANNING COMMISSION	DATE

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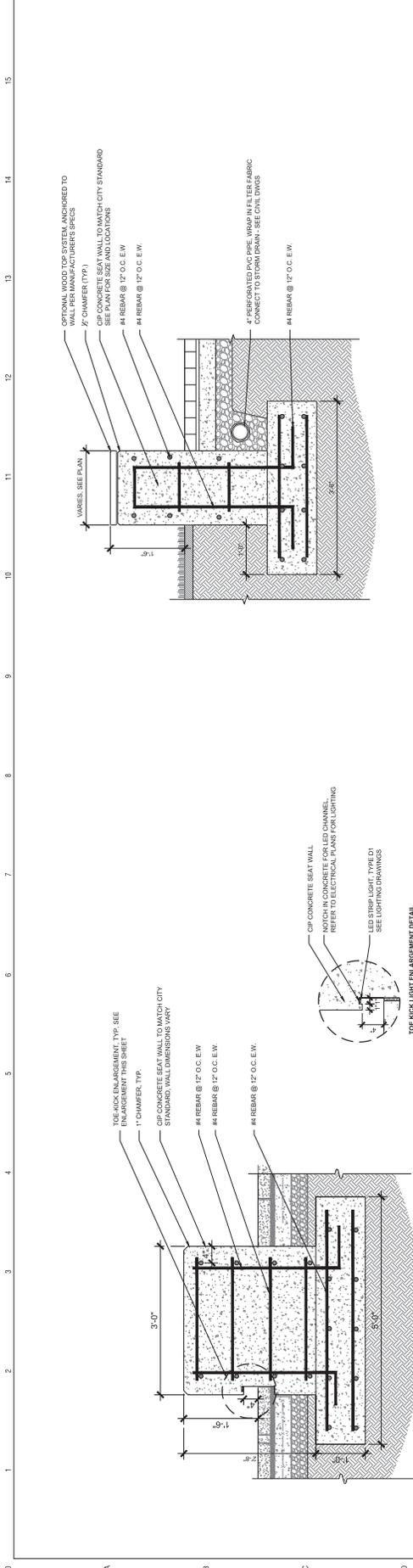


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OSDP #2	5/11/2022
OSDP #3	9/13/2022
OSDP #4	9/13/2022
OSDP #5	11/29/22

PROJECT NO.	SCALE
10037	As Shown
DRAWN BY:	REVIEWED BY:
TD	HR

**L2.01**  
HANDSCAPE DETAILS





NOTE:  
1. ALL WALL FINISHES SHALL BE PERFORMED BY AN ELEC. CONTRACTOR.  
2. POWER AND FUTURE TYPES TO BE COORDINATED WITH LIGHTING DESIGNER AND ELECTRICAL ENGINEER.

**1** CONCRETE TERRACED SEAT WALLS  
1/4"=1'-0"

**2** CONCRETE CUSTOM SEAT WALL (WITH OPTIONAL WOOD TOP SYSTEM)  
1/4"=1'-0"

SEAL



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OSDP SUBMISSION	7/24/2020
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REVISION	11/10/2020
ISS #2	5/5/2022
ISS #3	8/10/2022
ISS #4	9/13/2022
ISS #5	11/20/22

APPROVED SPECIAL USE PERMIT NO. 208-2007	
DIRECTOR	DATE
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DIRECTOR	DATE
DEPARTMENT OF PLANNING & ZONING	
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DIRECTOR	DATE
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF PLANNING & ZONING	

PROJECT NO.	SCALE
10037	As Shown
DRAWN BY:	REVIEWED BY:
TD	HR

**L2.03**  
HARDSCAPE DETAILS

**3** TEMPORARILY UNUSED  
1/4"=1'-0"

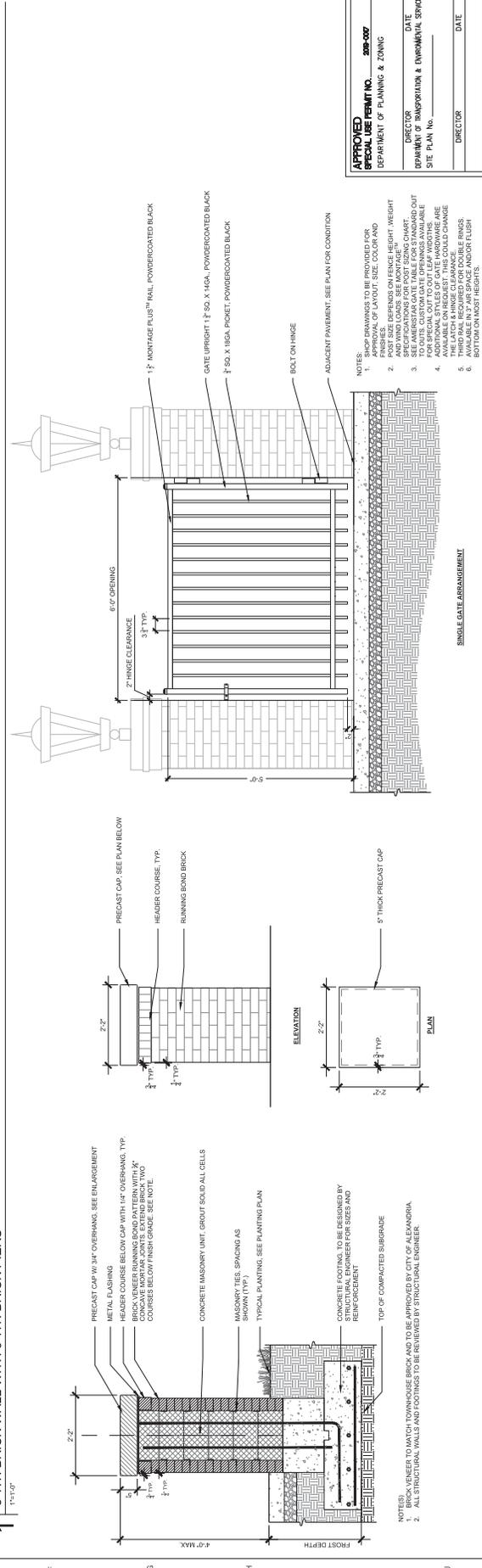
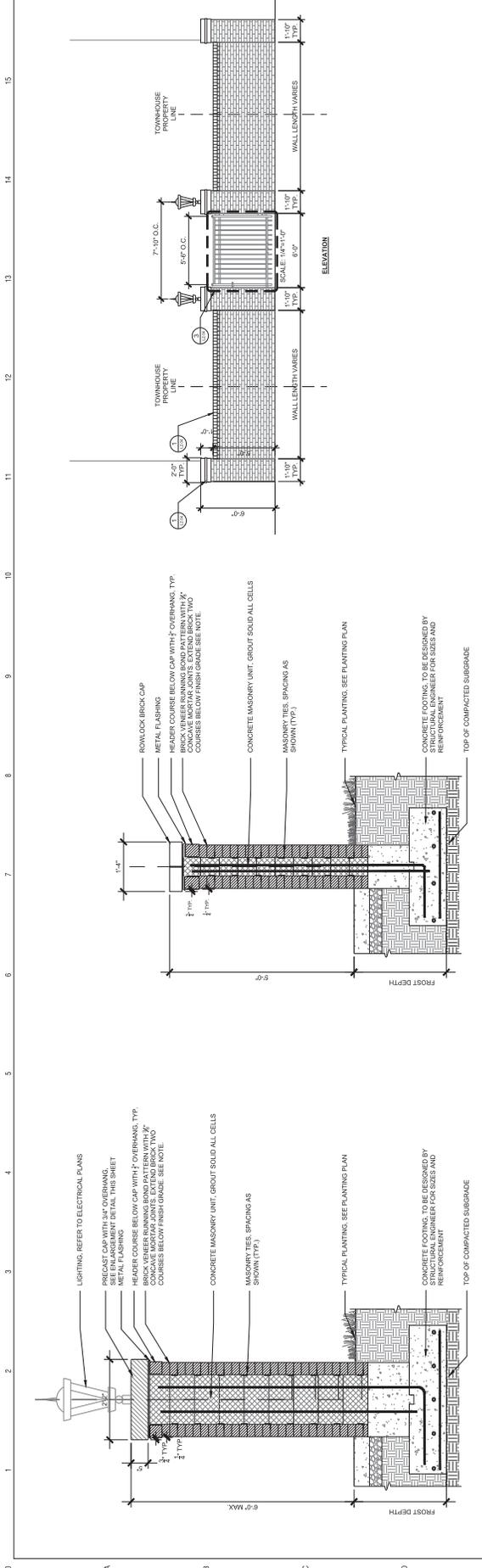


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OSDP SUBMISSION	11/10/2020
OSDP #1	5/10/2021
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OSDP #3	8/10/2022
OSDP #4	9/13/2022
OSDP #5	11/20/2022
OSDP #6	1/10/2023

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TD	HR

**L2.04**  
HANDSCAPE DETAILS



APPROVED SPECIAL USE PERMIT NO. 208-2007	DATE
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
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SITE PLAN NO.	
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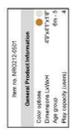






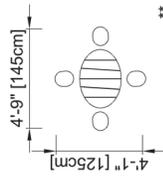
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**Kids Table with 4 Sitting Poles**

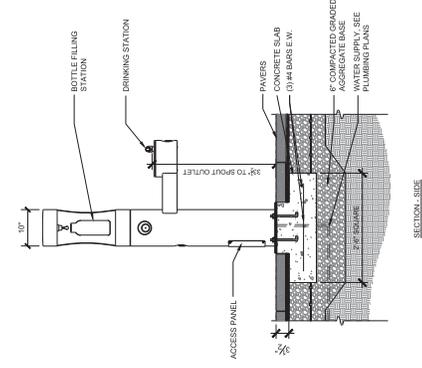
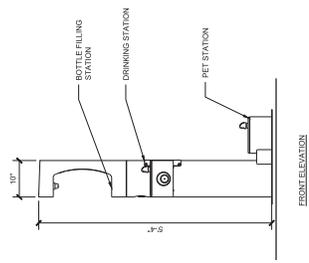


The wooden Kids Table with 4 Sitting Poles is designed for children aged 3 to 6 years old. The table is made of solid wood and is easy to clean. The sitting poles are made of solid wood and are designed to be comfortable for children to sit on. The table and sitting poles are made of solid wood and are designed to be durable and long-lasting.

11/04/2022



NRO212  
1:100  
\*\* 1'-8" / 50cm



**1** DRINKING FOUNTAIN  
N.T.S.

**2** KID'S PICNIC TABLE  
N.T.S.

0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

SEAL



ISSUED FOR	DATE
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OSAP SUBMISSION#2	10/20/2020
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PERMIT APPLICATION	10/20/2021
OSAP #2	5/5/2022
OSAP #3	8/18/2022
OSAP #4	10/13/2022
OSAP #5	11/13/2022

PROJECT NO.	SCALE
10037	As Shown

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TD	HR

**L2.08**

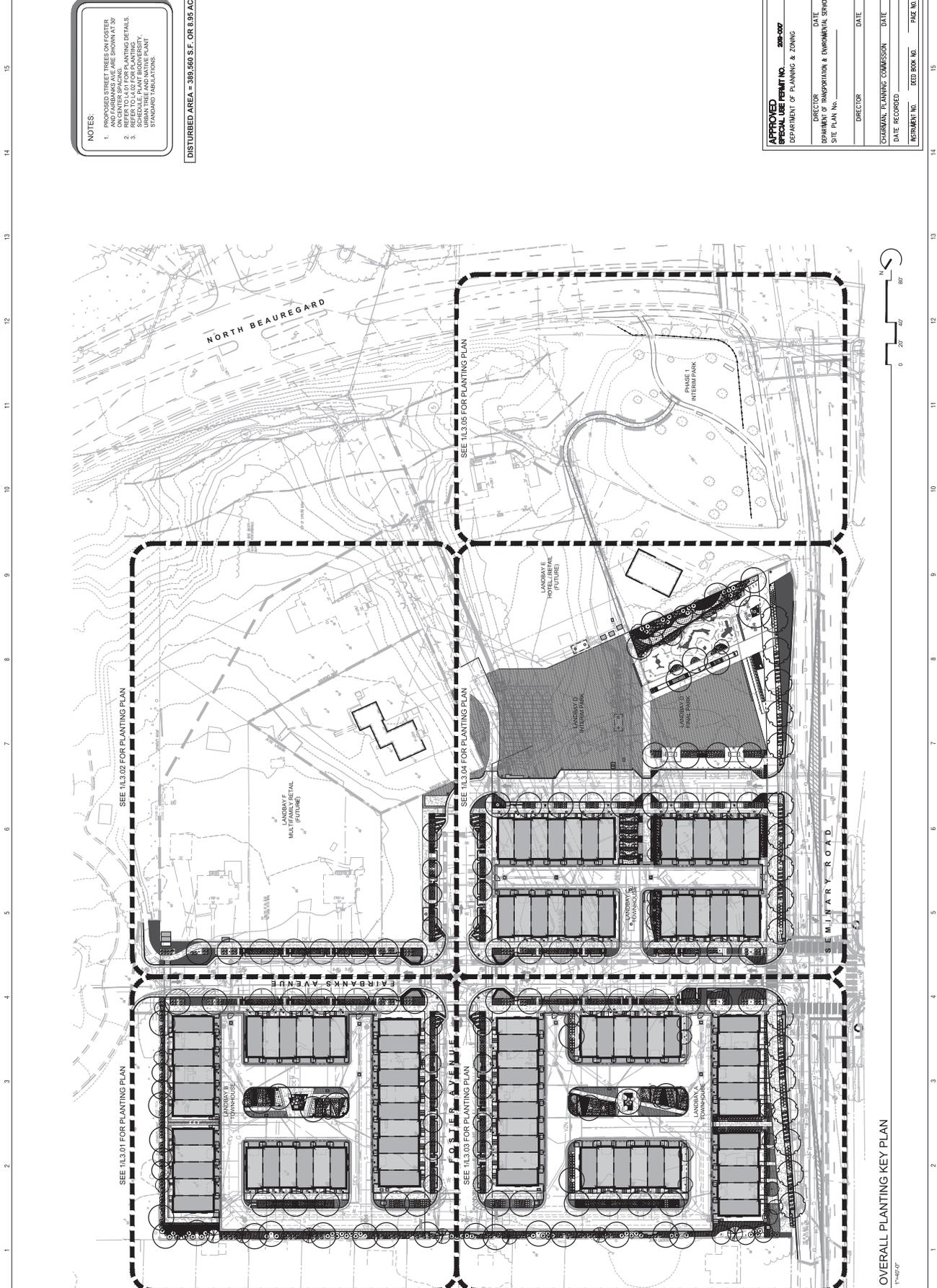
HARDSCAPE DETAILS

APPROVED SPECIAL USE PERMIT NO. 208-208	
DEPARTMENT OF PLANNING & ZONING	DATE
DIRECTOR	DEPARTMENT OF PLANNING & ZONING
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SITE PLAN NO.	DATE
DIRECTOR	DATE
DEPARTMENT OF PLANNING & ZONING	DATE
DATE RECORDED	DATE
RETRIMENT NO.	PHASE NO.
DEED BOOK NO.	PHASE NO.



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OSDP SUBMISSION	10/20/2020
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ISS #20	10/20/2020
PROJECT NO.	SCALE
10037	As Shown
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TD	HR

**L3.00**  
OVERALL PLANTING  
KEY PLAN



**NOTES:**

- PROPOSED STREET TREES ON FOSTER ON CENTER SPACING, AS SHOWN AT 20' ON CENTER SPACING.
- REFER TO L3.01 FOR PLANTING DETAILS.
- REFER TO L3.02 FOR PLANTING DETAILS.
- SCHEDULE PLANT BIODIVERSITY STANDARD TABULATIONS.
- REFER TO L3.03 FOR PLANTING DETAILS.
- REFER TO L3.04 FOR PLANTING DETAILS.
- REFER TO L3.05 FOR PLANTING DETAILS.

**DISTURBED AREA = 389,560 S.F. OR 8.95 AC**

**APPROVED**  
SPECIAL USE PERMIT NO. 208-200

DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEAN W. HARRINGTON	
SITE PLAN NO.	
DIRECTOR	DATE
CHARMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
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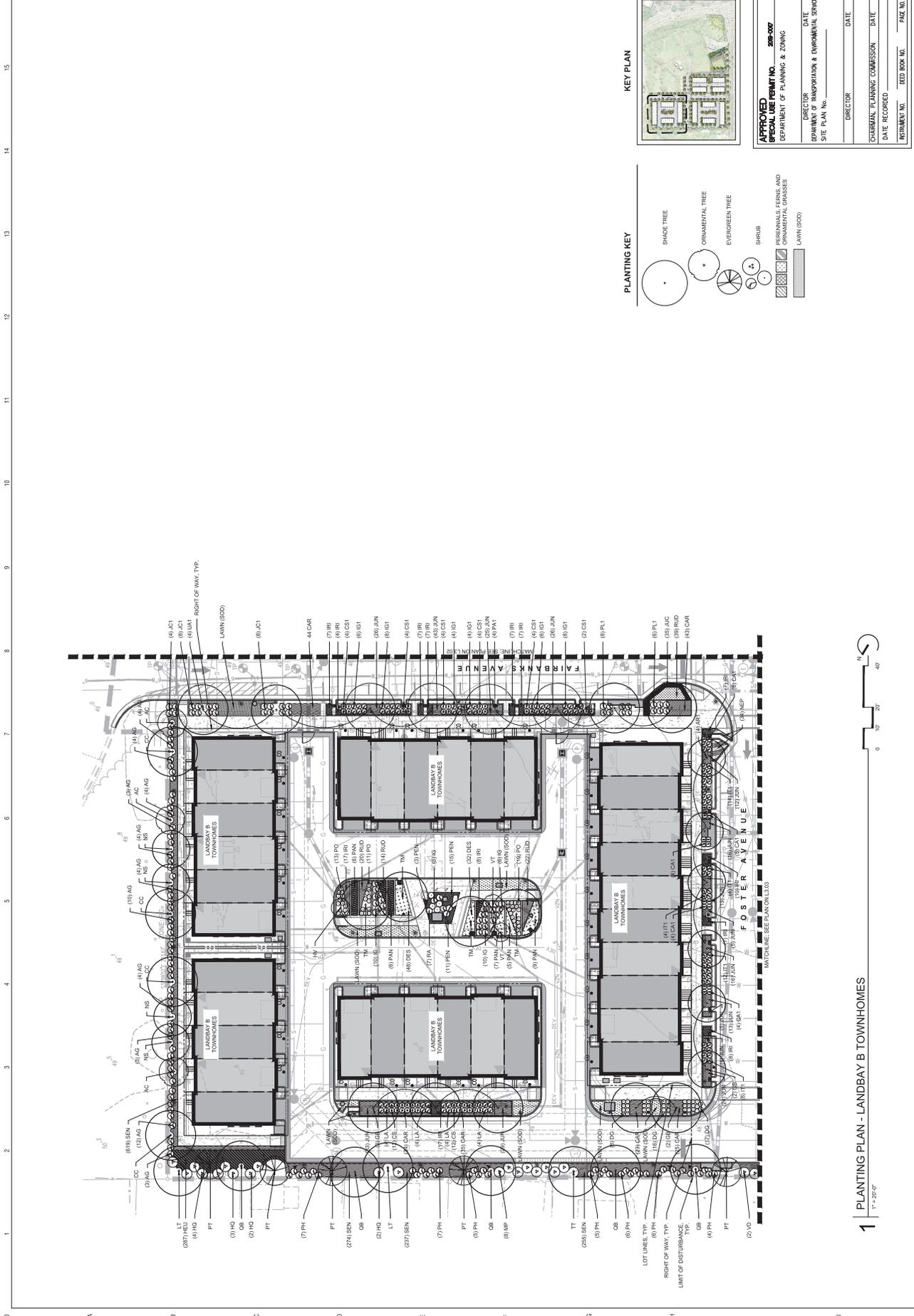
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F-162-07



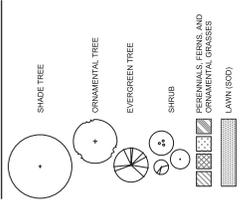
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PROJECT NO. 19037  
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DRAWN BY: [Name]  
REVIEWED BY: [Name]

**L3.01**  
PLANTING PLAN



**PLANTING KEY**



**KEY PLAN**



**APPROVED SPECIAL USE PERMIT NO. 208-208**

DEPARTMENT OF PLANNING & ZONING

DIRECTOR: [Name]  
DEPARTMENT OF PLANNING & ZONING

DATE: [Date]

SITE PLAN NO. [Number]

DIRECTOR: [Name] DATE: [Date]

CHAIRMAN, PLANNING COMMISSION DATE: [Date]

DATE RECORDED [Date]

RETRACEMENT NO. [Number] DEED BOOK NO. [Number] PAGE NO. [Number]

**1** PLANTING PLAN - LANDBAY B TOWNHOMES  
1" = 20' 0"



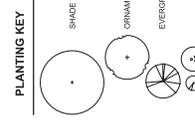
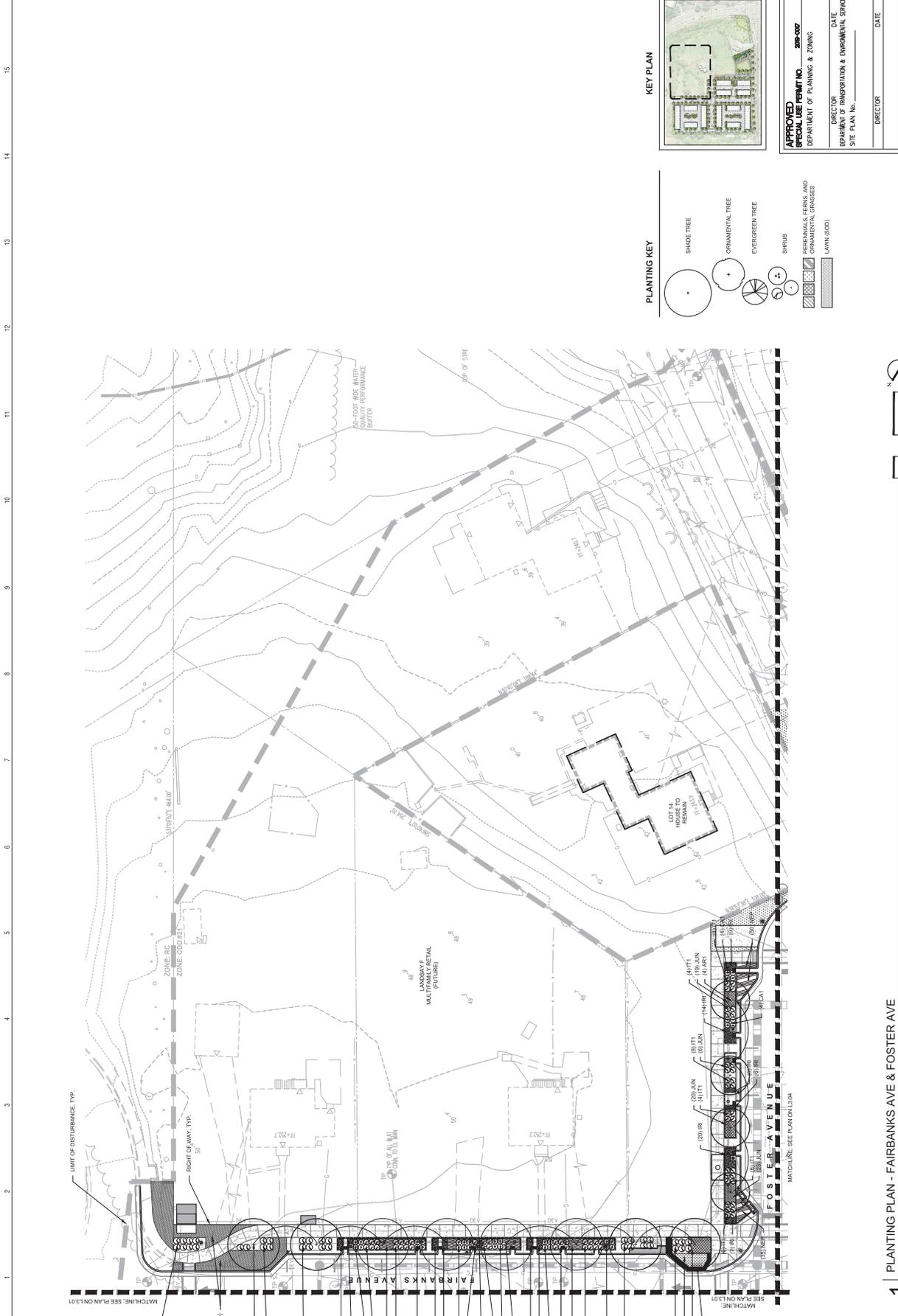


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OSDP SUBMISSION	10/30/2020
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OSDP #100	8/10/2022

PROJECT NO. 10037  
 DRAWN BY: [Name]  
 REVIEWED BY: [Name]

SCALE: As Shown  
 DATE: 8/10/2022

L3.02  
 PLANTING PLAN



APPROVED	DATE
SPECIAL USE PERMIT NO. 208-200	
DIRECTOR	DATE
DEPARTMENT OF PLANNING & ZONING	
DEPARTMENT OF PLANNING & ZONING	
SITE PLAN NO.	
DIRECTOR	DATE
DEPARTMENT OF PLANNING & ZONING	
DATE RECORDED	DATE
RETRIEVAL NO.	PHASE NO.
DEED BOOK NO.	



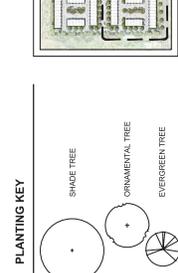
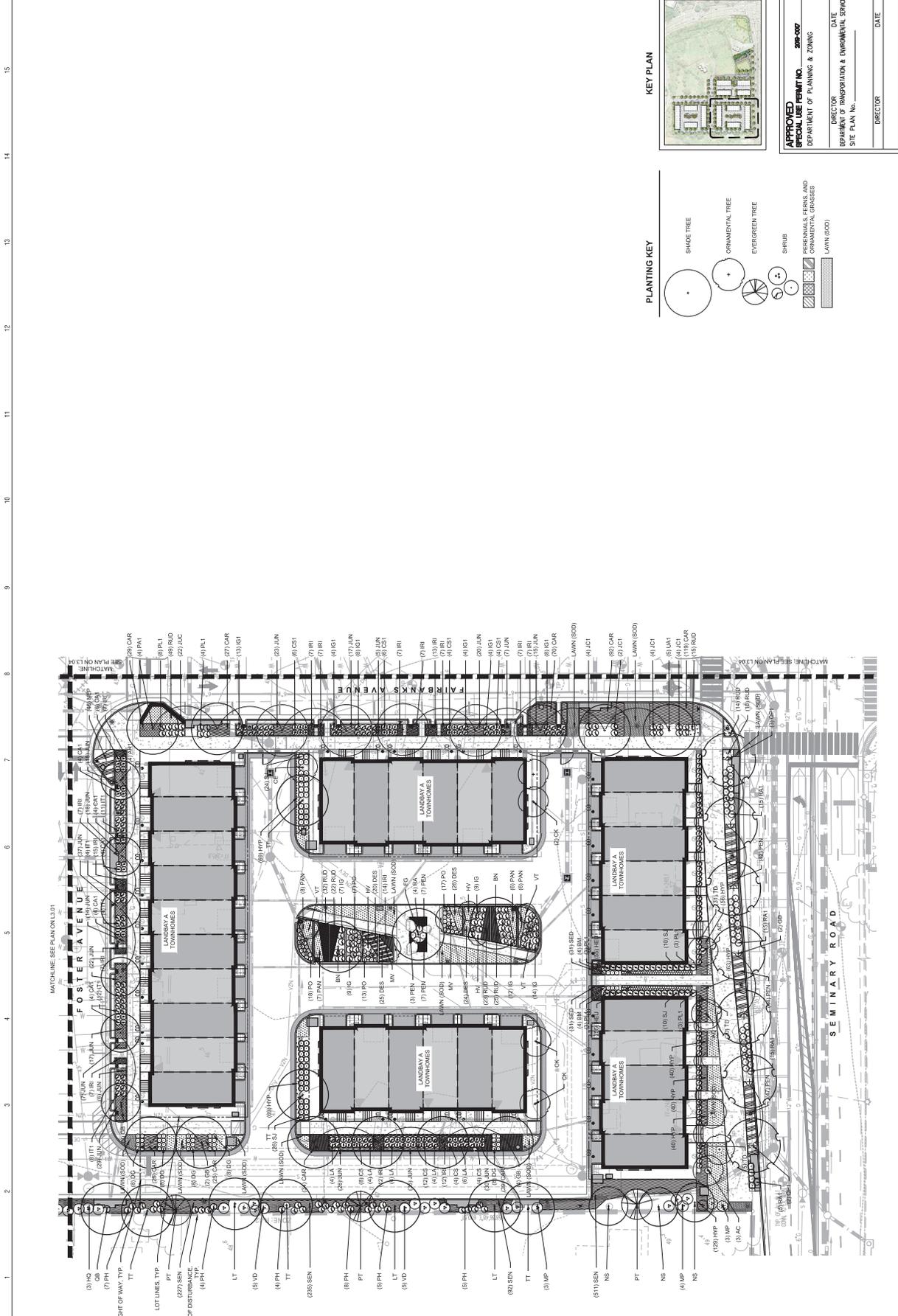
1 PLANTING PLAN - FAIRBANKS AVE & FOSTER AVE  
 1" = 20'-0"



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PROJECT NO. 10037  
SCALE: As Shown  
DRAWN BY: [Name]  
REVIEWED BY: [Name]

**L3.03**  
PLANTING PLAN



**APPROVED**  
**SPECIAL USE PERMIT NO. 208-200**  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR: [Name]  
DATE: [Date]  
SITE PLAN NO. [Number]

DIRECTOR: [Name]  
DATE: [Date]

CHAIRMAN, PLANNING COMMISSION: [Name]  
DATE: [Date]

MEMORANDUM NO. [Number]  
DEED BOOK NO. [Number]  
PAGE NO. [Number]

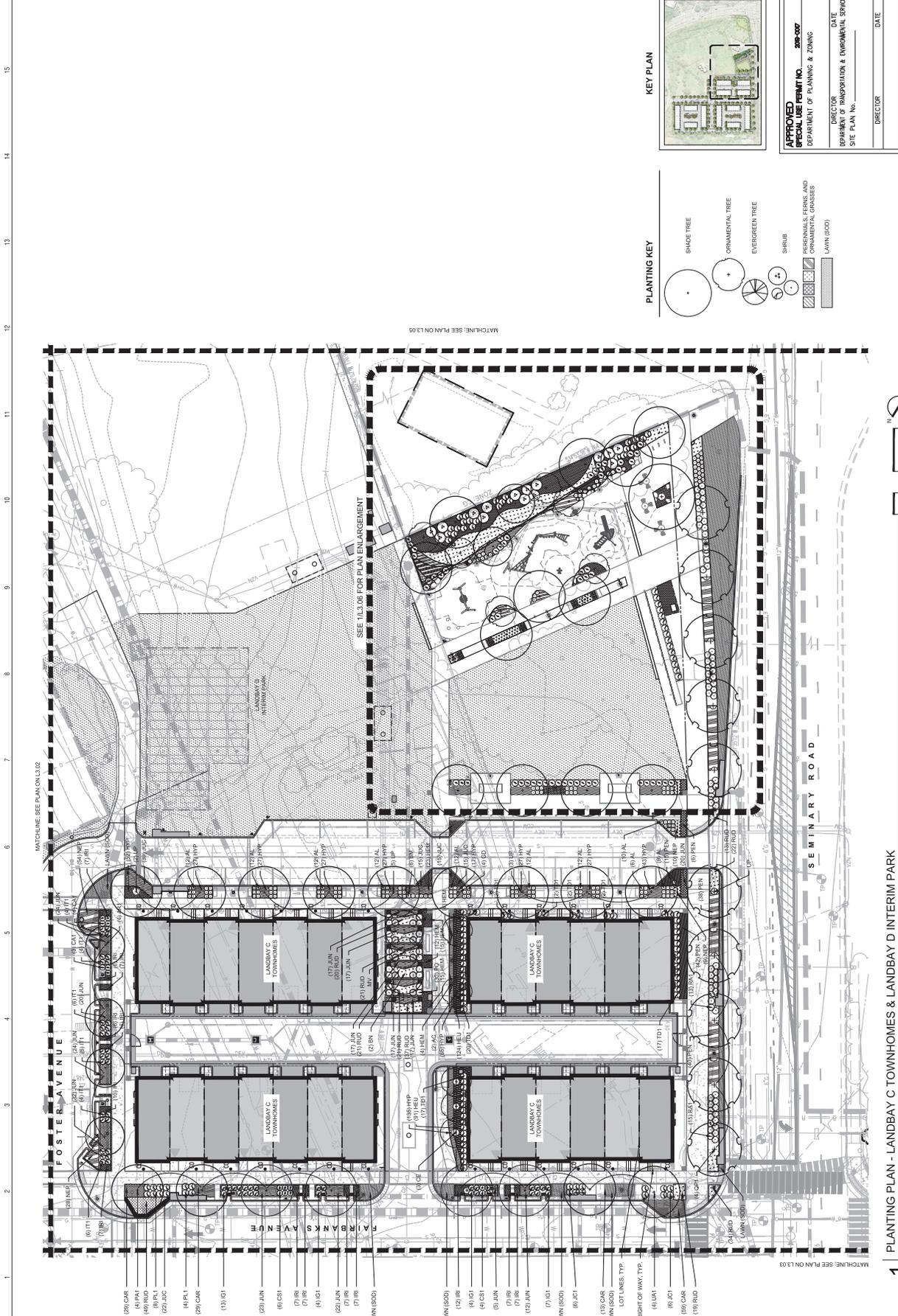
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1" = 20'-0"



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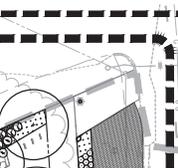
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DRAWN BY: [Name]  
REVIEWED BY: [Name]

**L3.04**  
PLANTING PLAN



**PLANTING KEY**

- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- SHRUB
- PERENNIALS, FERNS AND ORNAMENTAL GRASSES
- LAWN (500)



**APPROVED SPECIAL USE PERMIT NO. 208-2007**

DEPARTMENT OF PLANNING & ZONING

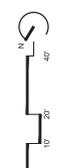
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DEPARTMENT OF PLANNING & ZONING  
SITE PLAN NO. [Number]

DIRECTOR: [Name] DATE: [Date]

CHAIRMAN, PLANNING COMMISSION DATE: [Date]

DATE RECORDED: [Date]

RETIREMENT NO. [Number] DEED BOOK NO. [Number] PAGE NO. [Number]



1 PLANTING PLAN - LANDBAY C TOWNHOMES & LANDBAY D INTERIM PARK  
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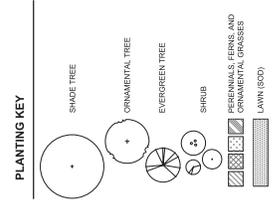
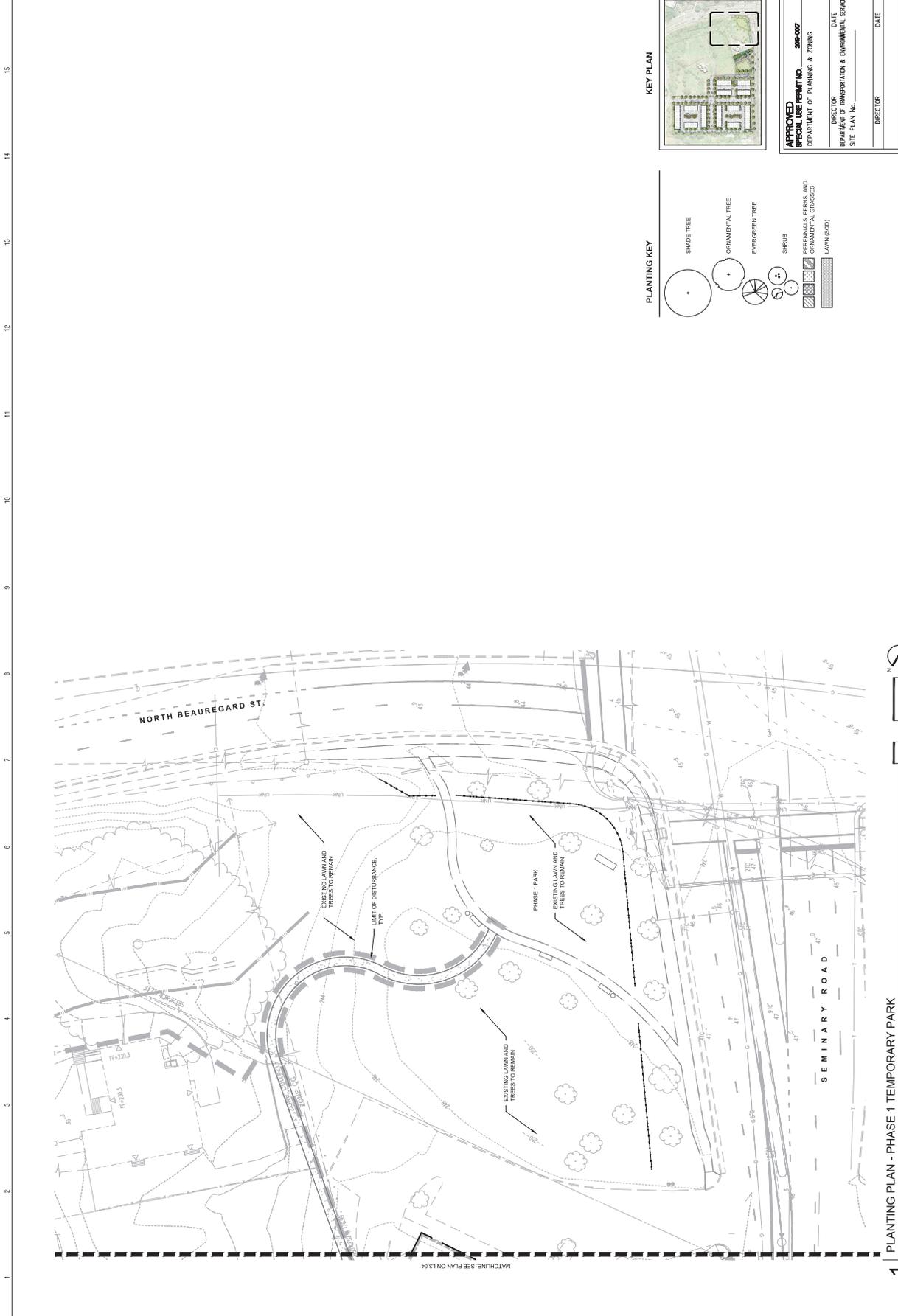


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DRAWN BY: [Name]  
REVIEWED BY: [Name]

SCALE: As Shown  
REVIEWED BY: [Name]

**L3.05**  
PLANTING PLAN



**APPROVED SPECIAL USE PERMIT NO. 208-208**  
DEPARTMENT OF PLANNING & ZONING

DIRECTOR: [Name]  
DATE: [Date]

DEPARTMENT OF PLANNING & ZONING  
SITE PLAN NO. [Number]

DIRECTOR: [Name]  
DATE: [Date]

CHAIRMAN, PLANNING COMMISSION  
DATE: [Date]

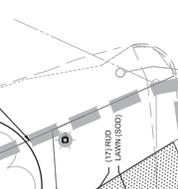
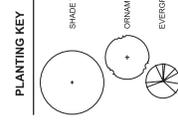
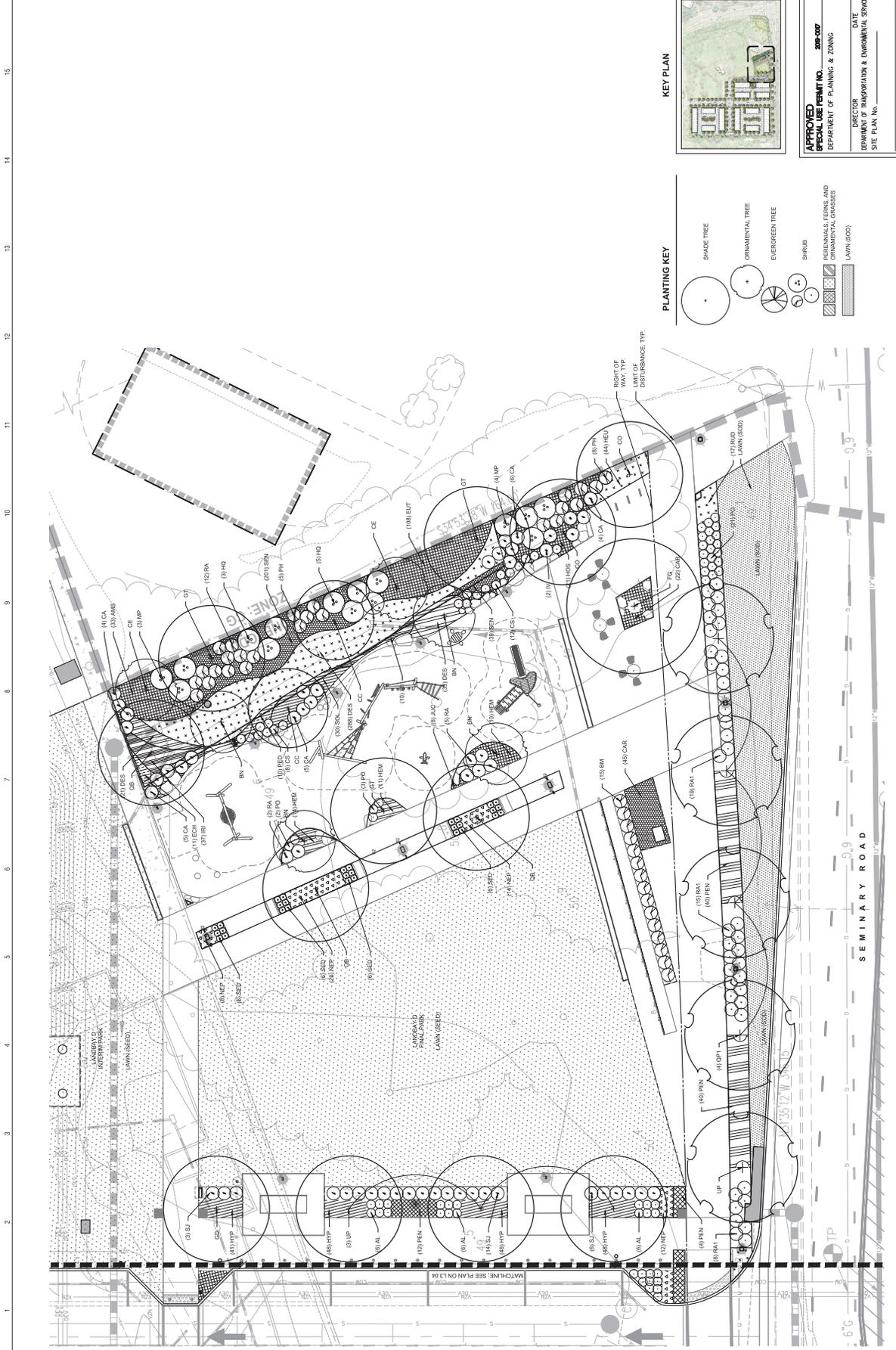
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PAGE NO. [Number]

1 PLANTING PLAN - PHASE 1 TEMPORARY PARK  
1" = 20'-0"



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OSDP SUBMISSION	10/20/2020
OSDP SUBMISSION	10/20/2020
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OSDP #4	10/13/2022
OSDP #5	10/13/2022
PROJECT NO.	SCALE:
10037	AS SHOWN
DRAWN BY:	REVIEWED BY:
TD	HR

**L3.06**  
PLANTING  
ENLARGEMENT PLAN



**APPROVED**  
SPECIAL USE PERMIT NO. 208-208  
DEPARTMENT OF PLANNING & ZONING

DATE: \_\_\_\_\_  
DIRECTOR: \_\_\_\_\_  
DEPARTMENT OF PLANNING & ZONING

SITE PLAN No. \_\_\_\_\_  
DATE RECORDED: \_\_\_\_\_  
DIRECTOR: \_\_\_\_\_

CHAIRMAN, PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_  
RETRACEMENT NO.: \_\_\_\_\_ DEED BOOK NO.: \_\_\_\_\_ PHASE NO.: \_\_\_\_\_

1 PLANTING ENLARGEMENT PLAN - LANDBAY D FINAL PARK  
1" = 10'-0"











weber@weberanalytics.com  
 612 Fairview Avenue  
 Blacksburg, Virginia 24060  
 540.531.6171

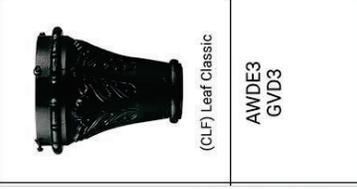
Upland Park Phase I  
 Alexandria, Virginia

No.	Revis/Low/Issue	Date
2	ESB4	5/16/22
1	ReSubmitt	5/16/22

Cut Sheets

Drawn By	WEB
Date	5/16/22
Scale	NTS

LT3  
 Sheet



(CLF) Leaf Classic

AWDE3  
 GVD3

**Decorative Fluted Tapered Aluminum for Post Top Luminaires**

Fluted tapered aluminum for decorative post-top luminaire applications. Fluted tapered aluminum luminaire for single or twin post top luminaires. Poles are available directly embedded or base mounted for use with underground supplied conductors only. Anchor base poles require customer installed and furnished concrete pole foundations and anchor bolts.

Light fixtures that match well with this pole include:

- Acorn styles
- All LED
- Premium LED Cutoff styles
- Premium LED Custom styles

FINISH COLOR	ANCHOR BASE																			
BLACK	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000

**Upland Park Type A2**

**Cutoff Acorn**

These Cutoff luminaire options are a dark-shades friendly alternative to various fixture styles.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Upland Park Type A1**

**Carlyle Acorn**

The Carlyle Acorn luminaire is frequently used in urban streetscape and pedestrian lighting applications where greater vertical illumination and a moderate amount of light is desired.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Decorative Fluted Tapered Aluminum for Post Top Luminaires**

Fluted tapered aluminum for decorative post-top luminaire applications. Fluted tapered aluminum luminaire for single or twin post top luminaires. Poles are available directly embedded or base mounted for use with underground supplied conductors only. Anchor base poles require customer installed and furnished concrete pole foundations and anchor bolts.

Light fixtures that match well with this pole include:

- Acorn styles
- All LED
- Premium LED Cutoff styles
- Premium LED Custom styles

FINISH COLOR	ANCHOR BASE																			
BLACK	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000

**Upland Park Type A2**

**Cutoff Acorn**

These Cutoff luminaire options are a dark-shades friendly alternative to various fixture styles.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Upland Park Type A1**

**Carlyle Acorn**

The Carlyle Acorn luminaire is frequently used in urban streetscape and pedestrian lighting applications where greater vertical illumination and a moderate amount of light is desired.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Decorative Fluted Tapered Aluminum for Post Top Luminaires**

Fluted tapered aluminum for decorative post-top luminaire applications. Fluted tapered aluminum luminaire for single or twin post top luminaires. Poles are available directly embedded or base mounted for use with underground supplied conductors only. Anchor base poles require customer installed and furnished concrete pole foundations and anchor bolts.

Light fixtures that match well with this pole include:

- Acorn styles
- All LED
- Premium LED Cutoff styles
- Premium LED Custom styles

FINISH COLOR	ANCHOR BASE																			
BLACK	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000

**Upland Park Type A2**

**Cutoff Acorn**

These Cutoff luminaire options are a dark-shades friendly alternative to various fixture styles.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Upland Park Type A1**

**Carlyle Acorn**

The Carlyle Acorn luminaire is frequently used in urban streetscape and pedestrian lighting applications where greater vertical illumination and a moderate amount of light is desired.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Decorative Fluted Tapered Aluminum for Post Top Luminaires**

Fluted tapered aluminum for decorative post-top luminaire applications. Fluted tapered aluminum luminaire for single or twin post top luminaires. Poles are available directly embedded or base mounted for use with underground supplied conductors only. Anchor base poles require customer installed and furnished concrete pole foundations and anchor bolts.

Light fixtures that match well with this pole include:

- Acorn styles
- All LED
- Premium LED Cutoff styles
- Premium LED Custom styles

FINISH COLOR	ANCHOR BASE																			
BLACK	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000

**Upland Park Type A2**

**Cutoff Acorn**

These Cutoff luminaire options are a dark-shades friendly alternative to various fixture styles.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Upland Park Type A1**

**Carlyle Acorn**

The Carlyle Acorn luminaire is frequently used in urban streetscape and pedestrian lighting applications where greater vertical illumination and a moderate amount of light is desired.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Upland Park Type A1**

**Carlyle Acorn**

The Carlyle Acorn luminaire is frequently used in urban streetscape and pedestrian lighting applications where greater vertical illumination and a moderate amount of light is desired.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Decorative Fluted Tapered Aluminum for Post Top Luminaires**

Fluted tapered aluminum for decorative post-top luminaire applications. Fluted tapered aluminum luminaire for single or twin post top luminaires. Poles are available directly embedded or base mounted for use with underground supplied conductors only. Anchor base poles require customer installed and furnished concrete pole foundations and anchor bolts.

Light fixtures that match well with this pole include:

- Acorn styles
- All LED
- Premium LED Cutoff styles
- Premium LED Custom styles

FINISH COLOR	ANCHOR BASE																			
BLACK	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000

**Upland Park Type A2**

**Cutoff Acorn**

These Cutoff luminaire options are a dark-shades friendly alternative to various fixture styles.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Upland Park Type A1**

**Carlyle Acorn**

The Carlyle Acorn luminaire is frequently used in urban streetscape and pedestrian lighting applications where greater vertical illumination and a moderate amount of light is desired.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Decorative Fluted Tapered Aluminum for Post Top Luminaires**

Fluted tapered aluminum for decorative post-top luminaire applications. Fluted tapered aluminum luminaire for single or twin post top luminaires. Poles are available directly embedded or base mounted for use with underground supplied conductors only. Anchor base poles require customer installed and furnished concrete pole foundations and anchor bolts.

Light fixtures that match well with this pole include:

- Acorn styles
- All LED
- Premium LED Cutoff styles
- Premium LED Custom styles

FINISH COLOR	ANCHOR BASE																			
BLACK	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000

**Upland Park Type A2**

**Cutoff Acorn**

These Cutoff luminaire options are a dark-shades friendly alternative to various fixture styles.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Upland Park Type A1**

**Carlyle Acorn**

The Carlyle Acorn luminaire is frequently used in urban streetscape and pedestrian lighting applications where greater vertical illumination and a moderate amount of light is desired.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

**Upland Park Type A1**

**Carlyle Acorn**

The Carlyle Acorn luminaire is frequently used in urban streetscape and pedestrian lighting applications where greater vertical illumination and a moderate amount of light is desired.

Height	Width	Depth	Weight	Material	Finish	Color	Lighting	Notes
100	100	100	100	100	100	100	100	100

APPROVED  
 SPECIAL USE PERMIT NO. \_\_\_\_\_  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & UTILITIES  
 SITE PLAN NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CITYMAN, PLANNING CORRECTION DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ REED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_









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SHEET NO.	15
WORKSHEET NO.	A-2
PROJECT TITLE	UPLAND PARK
LABORER'S NAME	
OPTION DESCRIPTION	FRONT ELEVATIONS
DATE	7/24/20
DESIGNED BY	MAO
BY DIVISION	

**Pinnacle Design & Consulting, Inc.**  
 11187 Old Forge Road, #1000, Frederick, MD 21702  
 Tel: 410-326-1000

**ESI Peer Review**

APPROVED SPECIAL USE PERMIT NO. \_\_\_\_\_

DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF INSPECTORIAL & ENVIRONMENTAL SERVICES

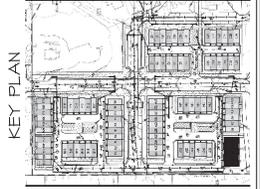
SITE PLAN NO. \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHARITABLE PLANNING COMMISSION DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_





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SHEET NO.	6
WORKSHEET TITLE	UPLAND PARK
DESIGNED BY	JR MAG
DATE	7/24/20
OPTION	
BY DIVISION	

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 703.261.1100 • www.pinnacle-design.com



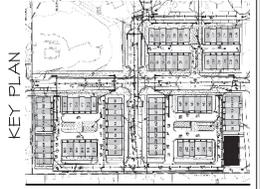
LAND BAY "A" ELEVATION "R" PER PLAN  
 LAND BAY "A" ELEVATION "R" PER PLAN

REAR ELEVATION LAND BAY "A" II  
 1/4" = 1'-0"  
 (LOTS 1 - 5)

**ESI Peer Review**

APPROVED SPECIAL USE PERMIT NO. \_\_\_\_\_  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 SUPERVISOR OF INSPECTORIAL & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_ DATE \_\_\_\_\_  
 DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 CHAIRMAN PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECEIVED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_





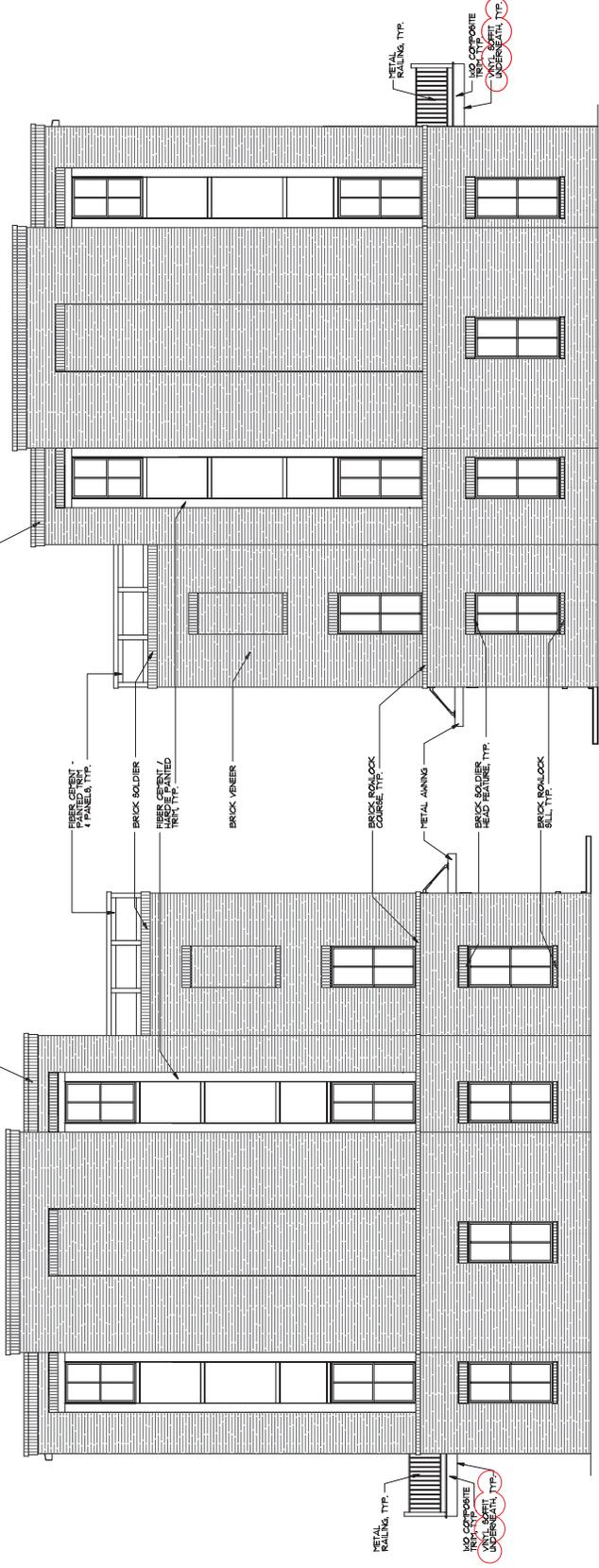
REV. NO.	DATE	REMARKS

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OPTION	
DATE	7/24/20
DRAWN BY	MAG
VERSION	
SHEET NO.	

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 Tel: 703.233.8888 • Fax: 703.233.8889



LAND BAY "A"  
 ELEVATION "B"  
 CENTRY BALCONY  
 PER PLAN

LAND BAY "A"  
 ELEVATION "B"  
 CENTRY BALCONY  
 REVERSE

LEFT SIDE ELEVATION LAND BAY "A" II  
 (1/4" = 1'-0") (LOTS 1 - 5)

ESI  
 Peer Review

**APPROVED SPECIAL USE PERMIT NO.**

DEPARTMENT OF PLANNING & ZONING | ENVIRONMENTAL SERVICES

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF INSPECTORIAL & ENVIRONMENTAL SERVICES

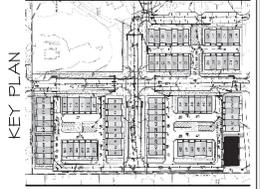
SITE PLAN NO.: \_\_\_\_\_ DATE: \_\_\_\_\_

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

CHAIRMAN PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO.: \_\_\_\_\_ DEED BOOK NO.: \_\_\_\_\_ PAGE NO.: \_\_\_\_\_







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BY DIVISION	
OPTION	
DATE	7/24/20
DRAWN BY	MAO
VERSION	
SHEET NO.	
WORKSHEET	
DRAWING TITLE	UPLAND PARK
LANDMARK	
LOT 06 - II	
REAR ELEVATIONS	

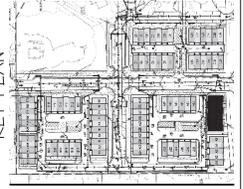
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REAR ELEVATION LAND BAY "A" II  
 1/4" = 1'-0" (LOTS 6 - II)

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DIRECTOR	
DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	
DATE	
CARRIAGE PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	





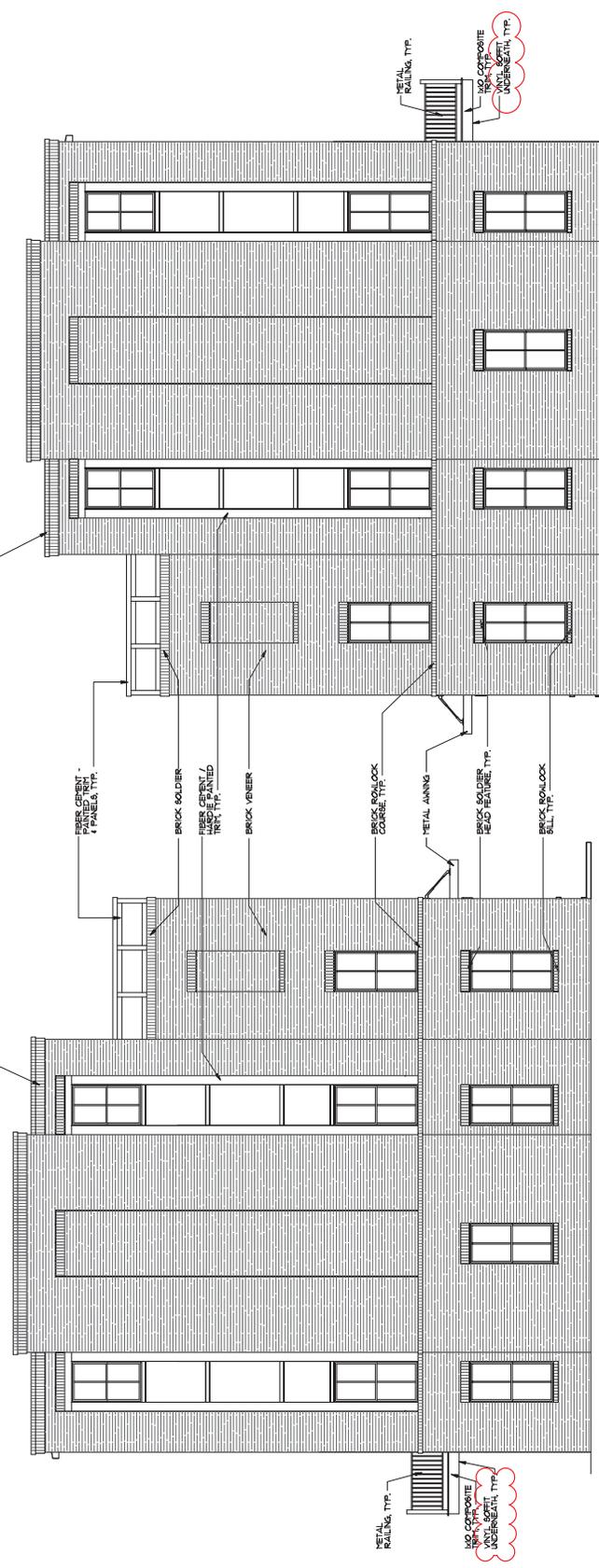
REV. NO.	DATE	REMARKS

NOTE: OWNER EXPRESSLY AGREES TO HOLD THE ARCHITECT HARMLESS FROM ALL LIABILITY AND DAMAGES OF ANY KIND, INCLUDING REASONABLE ATTORNEY'S FEES, IN CONNECTION WITH THIS AGREEMENT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AND SHALL NOT BE EXTENDED TO ANY OTHER MATTER. THE ARCHITECT'S LIABILITY SHALL BE LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AND SHALL NOT BE EXTENDED TO ANY OTHER MATTER.



SHEET NO.	UPLAND PARK
WORKSHEET NO.	LAND BAY 'A'
DATE	7/24/20
BY	MAJ
BY DIVISION	
OPTION	
DATE	7/24/20
DESCRIPTION	
LOT NO.	

**PINNACE DESIGN & CONSULTING, INC.**  
 11722 Old Forge Road, Suite 100  
 Frederick, MD 21702  
 Tel: 301.221.1172  
 Fax: 301.221.1173



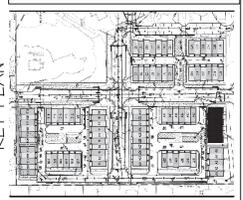
LAND BAY 'A'  
 LOT NO. 722  
 FULL BRICK / FIBER  
 CONVERSE

LAND BAY 'A'  
 LOT NO. 722  
 FULL BRICK / FIBER  
 CONVERSE

LEFT SIDE ELEVATION LAND BAY "A" II  
 1/4" = 1'-0"

(LOTS 6 - 11)

ESI  
 Peer Review



APPROVED SPECIAL USE PERMIT NO. \_\_\_\_\_  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. \_\_\_\_\_ DATE \_\_\_\_\_  
 DIRECTOR \_\_\_\_\_

CHARITABLE PLANNING COMMISSION DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



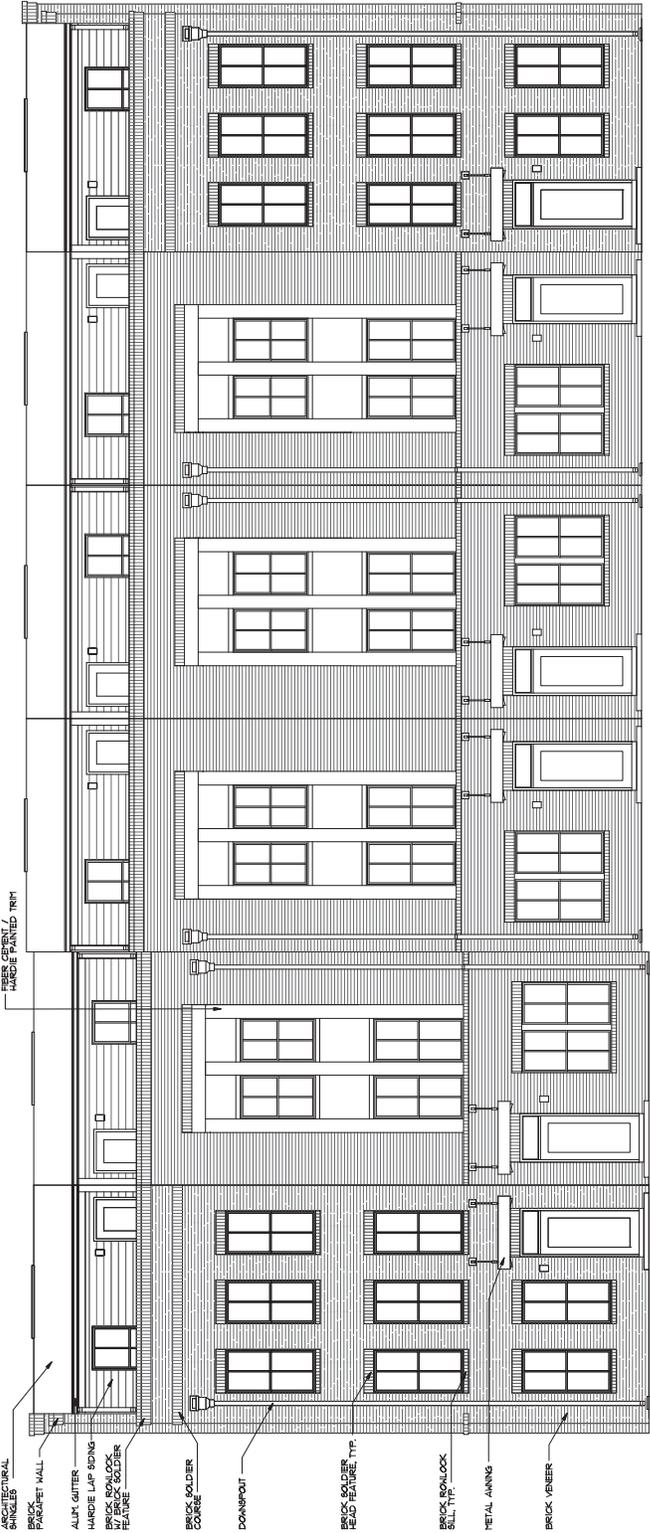
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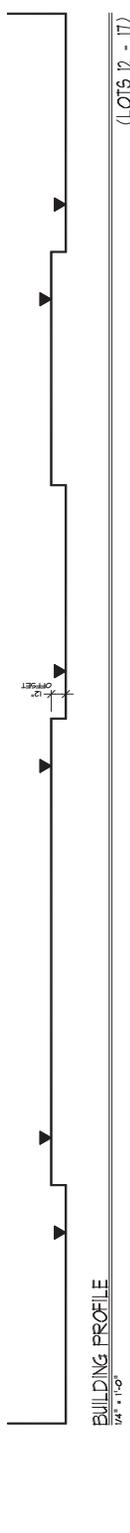
SHEET NO.	A-2
WORKSHEET TITLE	UPLAND PARK
DESIGNED BY	MAJ
DATE	7/24/20
OPTION	
BY DIVISION	

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 703.261.3300 • www.pinnacle-design.com



FRONT ELEVATION LAND BAY "A" II  
 1/4" = 1'-0"

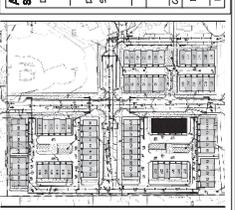
LAND BAY "A" ELEVATION 3rd REVERSE PER PLAN



(LOTS 12 - 17)

(LOTS 12 - 17)

KEY PLAN



**ESI Peer Review**

APPROVED SPECIAL USE PERMIT NO. \_\_\_\_\_

DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_





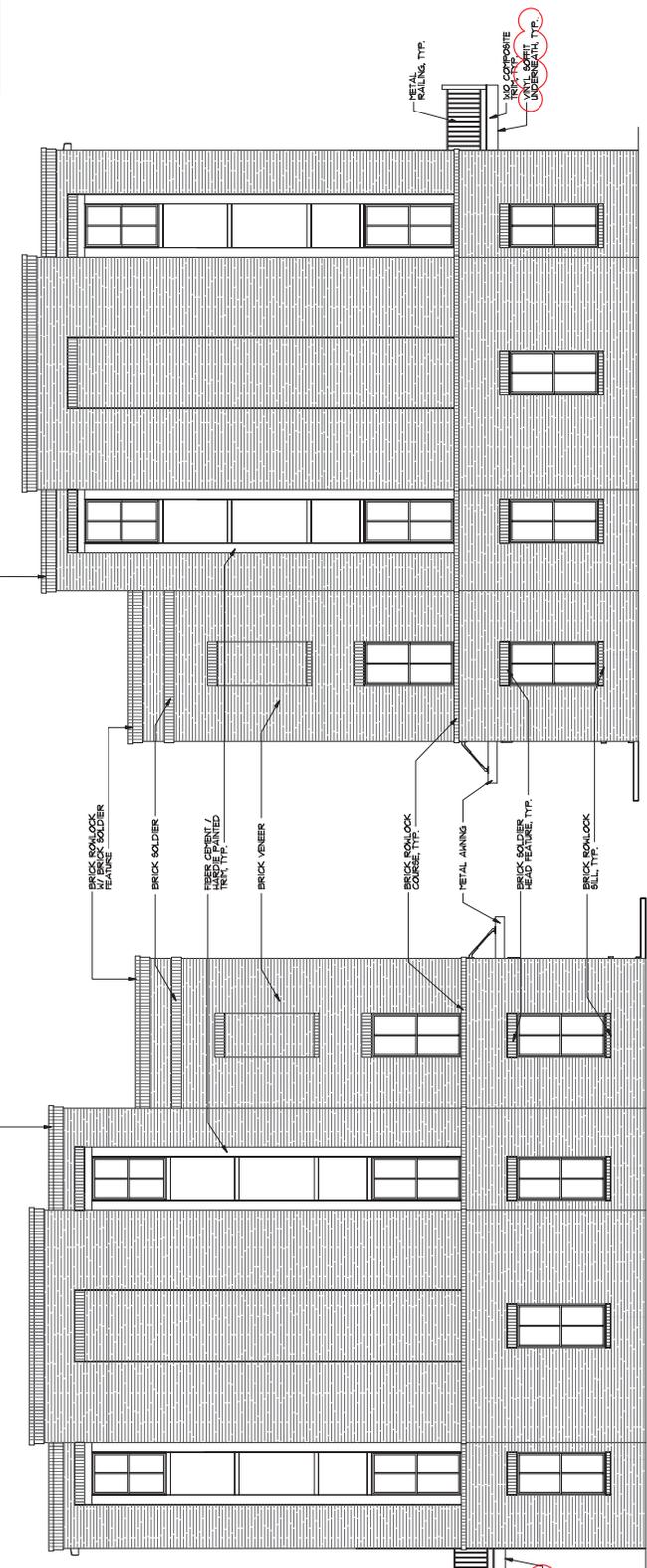
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SHEET NO.	A-2
MODEL	UPLAND PARK
DRAWING TITLE	LANDSCAPE
DESIGNED BY	MAJO
DATE	7/24/20
OPTION	
BY DIVISION	

**Pinnacle Design & Consulting, Inc.**  
 11722 Old Dominion Blvd., Suite 200, Norfolk, VA 23502  
 757.733.2222

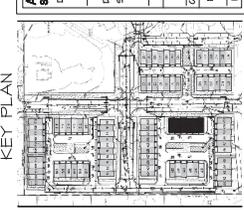


LAND BAY "A"  
 LOT #12  
 FULL BRICK  
 REVERSE

LEFT SIDE ELEVATION LAND BAY "A" II  
 1/4" = 1'-0"

(LOTS 12 - 17)

ESI  
 Peer Review



APPROVED SPECIAL USE PERMIT NO.	
DIRECTOR	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	
DATE	
CARRIAGE PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	



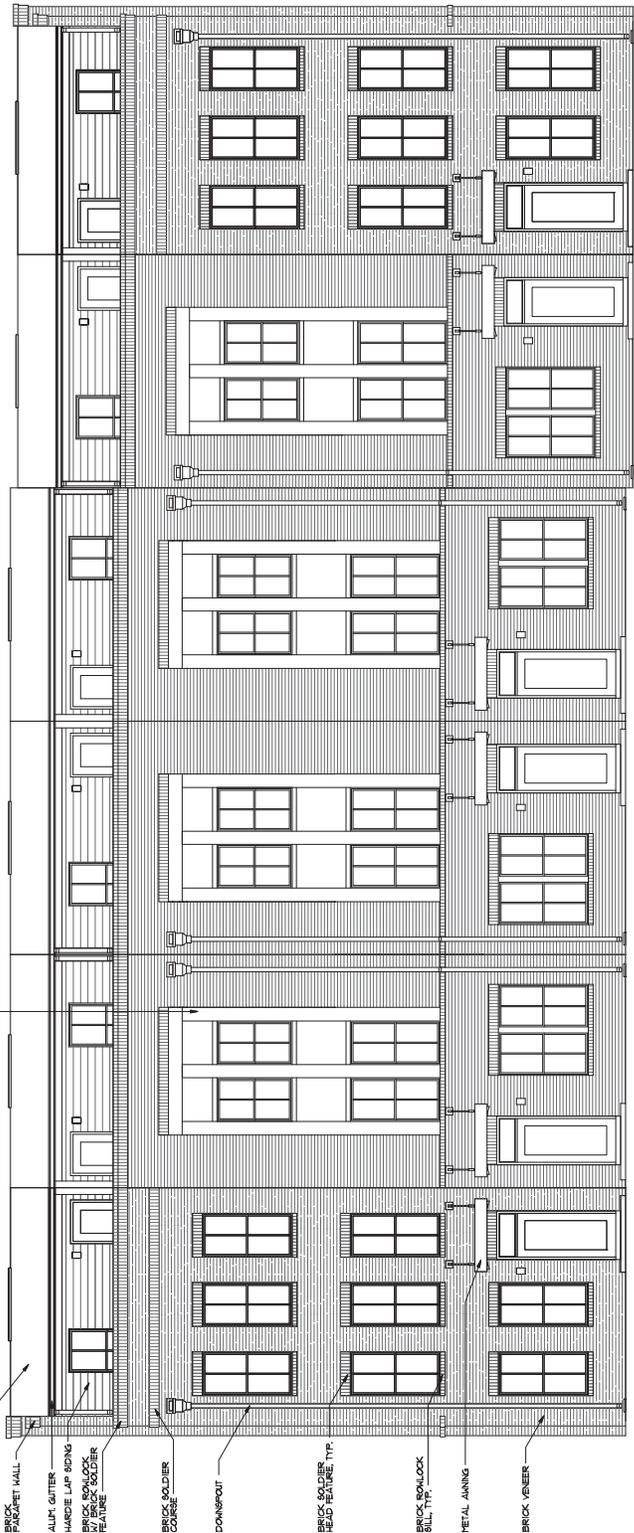
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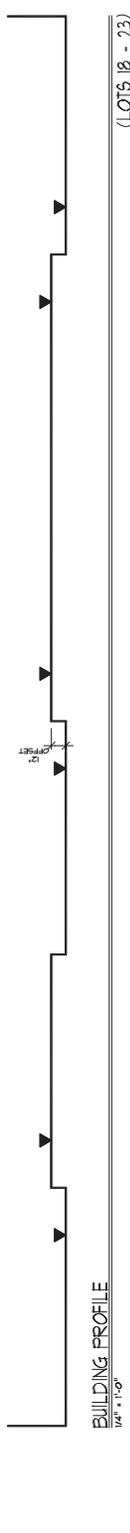
SHEET NO.	A-2
WORKS	UPLAND PARK
DRAWING TITLE	LANDSCAPE PLAN
DATE	7/24/20
BY DIVISION	
OPTION	
DATE	
DESIGNED BY	
VERSION	
LOT 15 B - 25	
FRONT ELEVATIONS	

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 Tel: 703.233.8888 • Fax: 703.233.8889



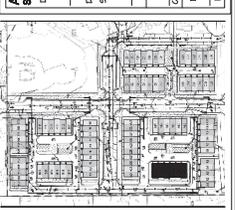
FRONT ELEVATION LAND BAY "A" II  
 1/4" = 1'-0"

LAND BAY "A" ELEVATION OF REVERSE PER PLAN



BUILDING PROFILE  
 1/4" = 1'-0"

KEY PLAN



**ESI Peer Review**

APPROVED SPECIAL USE PERMIT NO. \_\_\_\_\_

DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



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BY DIVISION	
OPTION	
DATE	7/24/20
DRAWN BY	MAG
VERSION	
SHEET NO.	
MODEL	
DRAWING TITLE	UPLAND PARK
LANDMARK #	
OPTION DESCRIPTION	
LOTS 18 - 23	
REAR ELEVATIONS	
N5	

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 ARCHITECTS & ENGINEERS  
 11180 Parkside Blvd., Suite 100 • Fairfax, Virginia 22030  
 Tel: 703.231.8100 • Fax: 703.231.8101



LARGE LAP JOINT

ARCHITECTURAL SINGLES BRACKET MALL

ALUM. GUTTER

5/644 CORNER BRD. TYP.

FIBER CEMENT / MORTAR PAINTED

DOWNPOT

METAL RAILING, TYP.

INO. COGNATE RAIL, TYP.

BRICK SOLDIER HEAD FEATURE, TYP.

BRICK VENEER

LAND BAY "A"  
ELEVATION OF REAR ELEVATION PER PLAN

LAND BAY "A"  
ELEVATION OF REAR ELEVATION PER PLAN

LAND BAY "A"  
ELEVATION OF REAR ELEVATION PER PLAN

LAND BAY "A"  
ELEVATION OF REAR ELEVATION PER PLAN

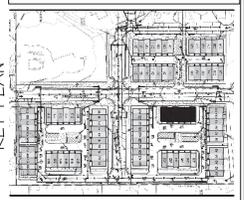
LAND BAY "A"  
ELEVATION OF REAR ELEVATION PER PLAN

LAND BAY "A"  
ELEVATION OF REAR ELEVATION PER PLAN

REAR ELEVATION LAND BAY "A" II  
1/4" = 1'-0"

(LOTS 18 - 23)

ESI  
Peer Review



APPROVED SPECIAL USE PERMIT NO.	
DIRECTOR	
DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	
DATE	
CARRIAGEWAY PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	





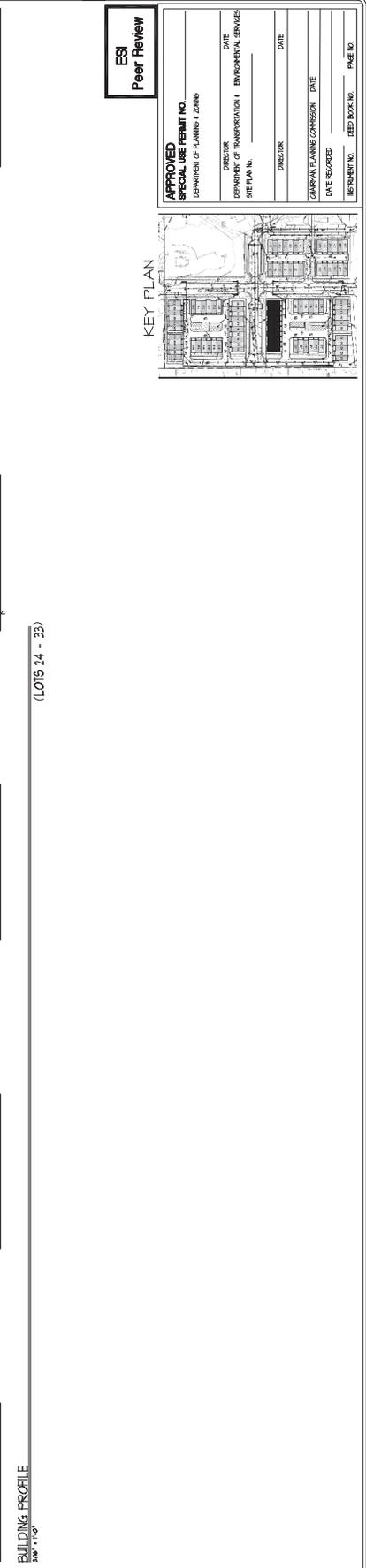
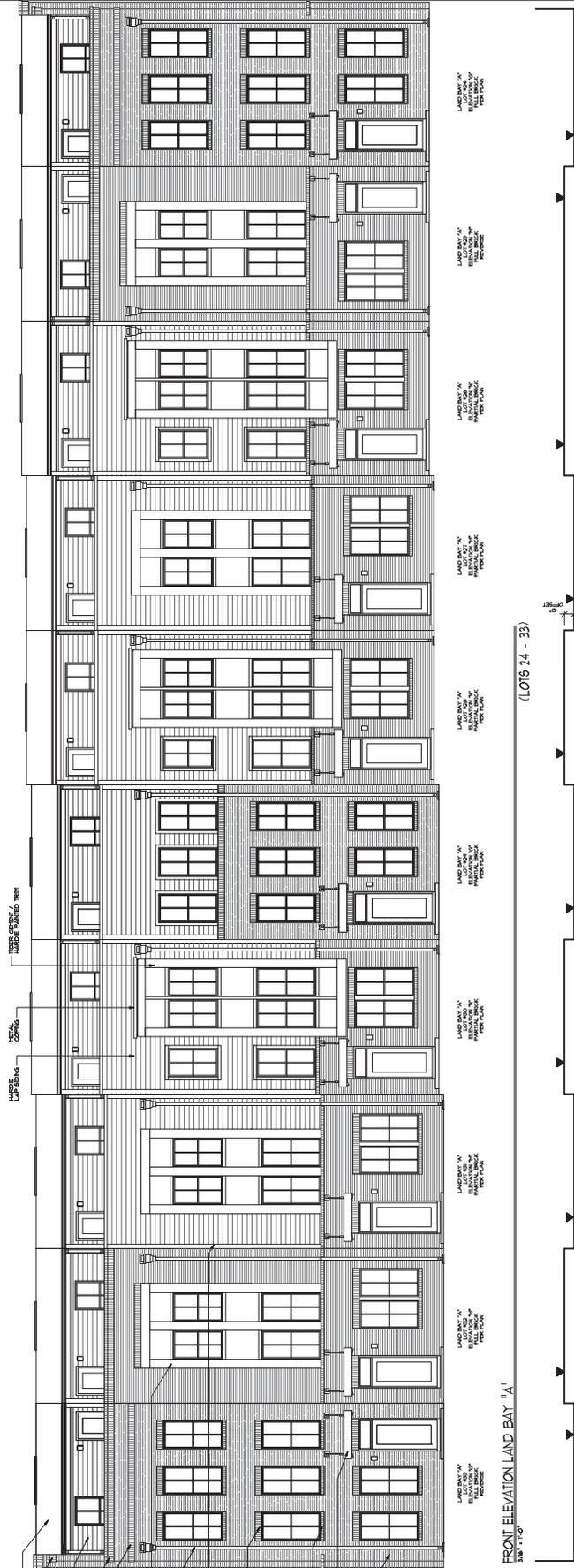
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SHEET NO.	A-2
MODEL	UPLAND PARK
DRAWING TITLE	LANEBAY "A"
OPTION DESCRIPTION	FRONT ELEVATIONS
BY DIVISION	
DATE	7/24/20
DRAWN BY	MAG
VERSION	

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DEPARTMENT OF PLANNING & ZONING

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

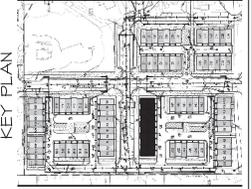
SITE PLAN NO.: \_\_\_\_\_ DATE: \_\_\_\_\_

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

CHAIRMAN PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE REQUIRED: \_\_\_\_\_

INSTRUMENT NO.: \_\_\_\_\_ DEED BOOK NO.: \_\_\_\_\_ PAGE NO.: \_\_\_\_\_







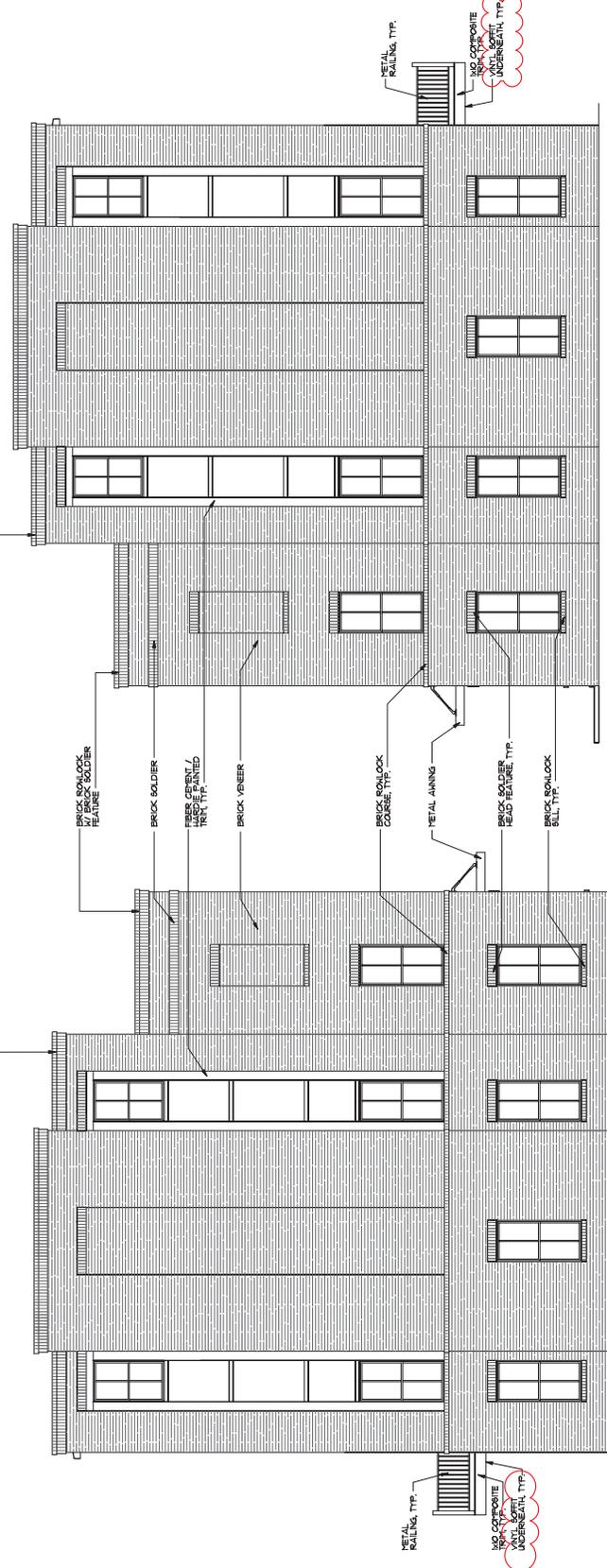
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SHEET NO.	100
PROJECT TITLE	UPPER LAND PARK
DRAWN BY	MAJ
DATE	7/24/20
OPTION DESCRIPTION	LAND BAY "A"
BY DIVISION	SIDE ELEVATIONS

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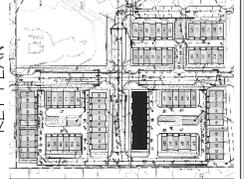


LAND BAY "A"  
 LOT 24 OF  
 FULL BLOCK  
 PER PLAN

LEFT SIDE ELEVATION LAND BAY "A"  
 1/4" = 1'-0" (LOTS 24 - 33)

ESI  
 Peer Review

APPROVED SPECIAL USE PERMIT NO.	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	
DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	
DATE	
CHAIRMAN PLANNING COMMISSION	
DATE RECORDED	
REVISION NO.	
SHEET BOOK NO.	
PAGE NO.	





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SHEET NO.	10
MODEL	LAND PARK
DRAWING TITLE	LAND PARK
LABORER'S	
OPTION DESCRIPTION	
LOTS 1 - 10	
FRONT ELEVATIONS	
BY DIVISION	
DATE	7/24/20
DRAWN BY	MAC
VERSION	

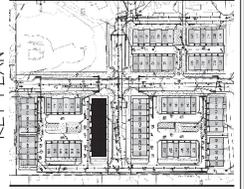
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 11180 Park Lane, Suite 400, Fairfax, Virginia 22030  
 Tel: 703.233.8888



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 DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 SUPERVISOR OF INSPECTION & ENVIRONMENTAL SERVICES  
 SITE PLAN NO. \_\_\_\_\_ DATE \_\_\_\_\_  
 DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 CHAIRMAN PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE RECORDED \_\_\_\_\_  
 INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_





REVISIONS	REV. NO.	DATE

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SHEET NO.	10
WORKS	LAND PARK
DRAWING TITLE	LANDMARK 'B'
DATE	7/24/20
OPTION	
BY DIVISION	
REAR ELEVATIONS	

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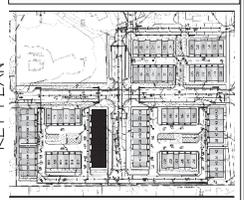


Labels for each window unit: "Labels for window units and doors." (repeated 10 times)

REAR ELEVATION LAND BAY 'B'  
 1/4" = 1'-0"

(LOTS 1 - 10)

ESI  
 Peer Review



<b>APPROVED SPECIAL USE PERMIT NO.</b>	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	DATE
SITE PLAN NO.	DATE
DIRECTOR	DATE
CIVIL ENGINEERING	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
	PAGE NO.





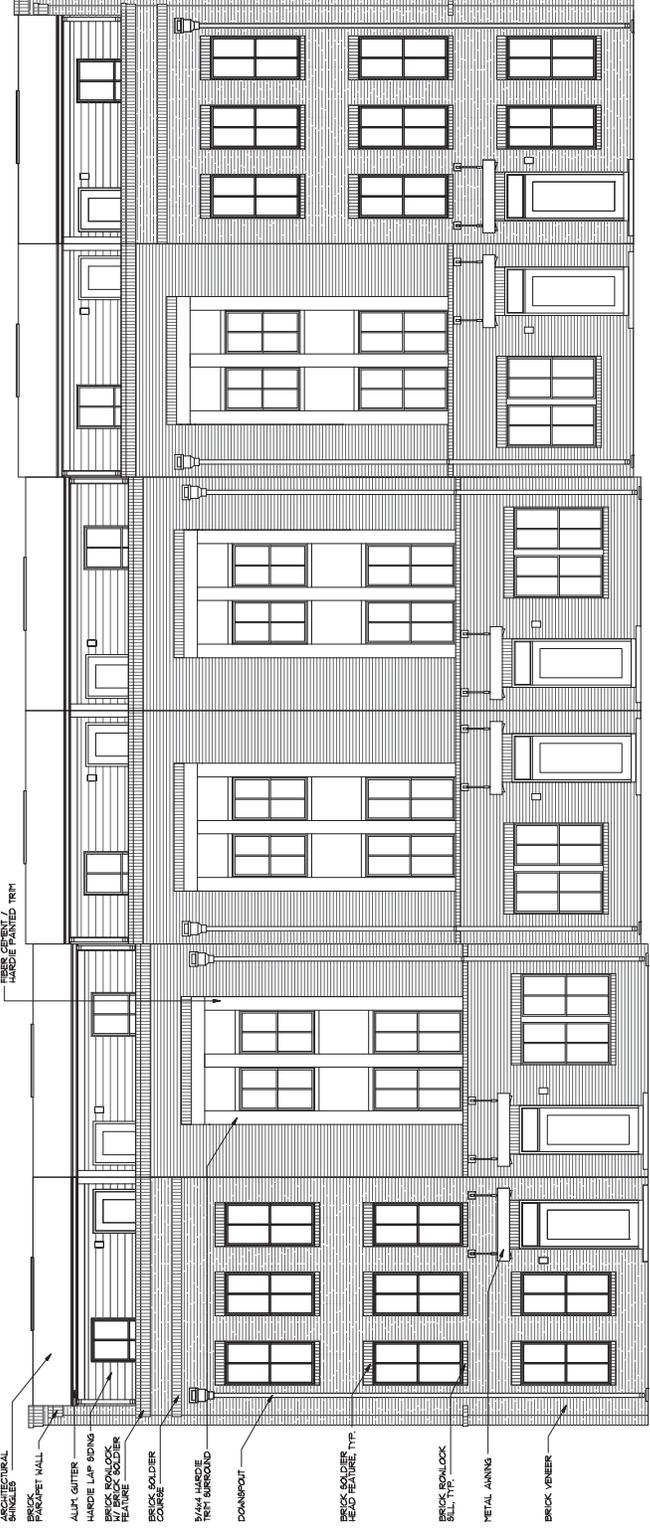
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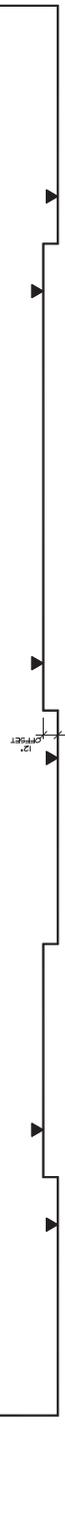


SHEET NO.	A-2
WORKS	UPLAND PARK
DRAWING TITLE	LAND BAY 'B'
DATE	7/24/20
OPTION	
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LAND BAY "B"  
ELEVATION "B"  
REVERSE

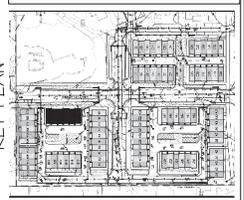


FRONT ELEVATION LAND BAY "B"  
1/4" = 1'-0"

BUILDING PROFILE  
1/4" = 1'-0"

(LOTS 11 - 16)

(LOTS 11 - 16)



ESJ Peer Review

APPROVED SPECIAL USE PERMIT NO.	
DIRECTOR	
DATE	
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SITE PLAN NO.	
DIRECTOR	
DATE	
CHARITABLE PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	



REV. NO.	DATE	REMARKS

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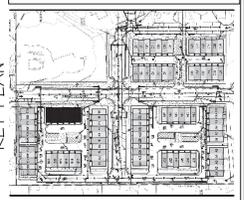
SHEET NO.	1
MODEL	UPLAND PARK
DRAWING TITLE	LANDSCAPE PLAN
DATE	7/24/20
OPTION	
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(LOTS 11 - 16)

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DIRECTOR	
DATE	
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DATE REQUIRED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	



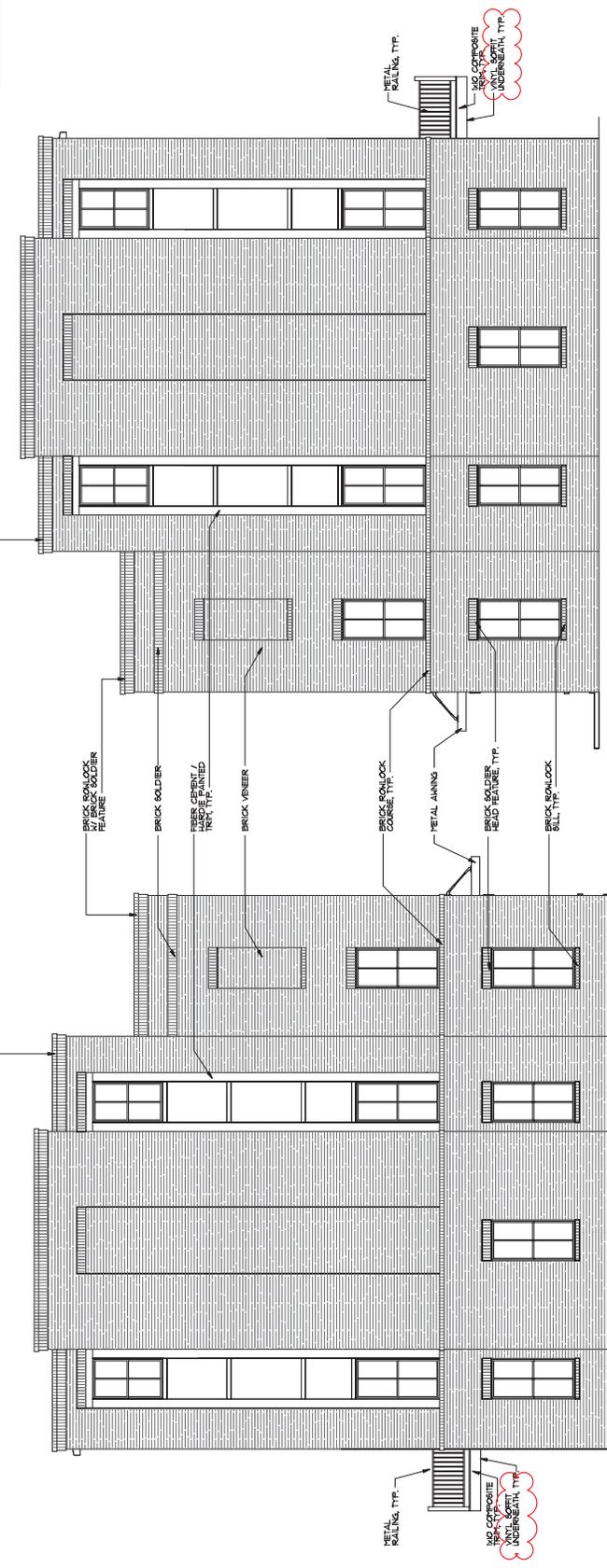
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SHEET NO.	UPLAND PARK
WORKSHEET NO.	UPLAND PARK
DESIGNED BY	MAG
DATE	7/24/20
OPTION	
BY DIVISION	
SIDE ELEVATIONS	
LOT 11 - 16	
DATE	
OPTION DESCRIPTION	

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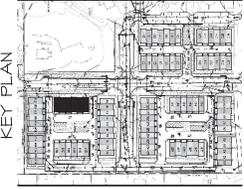


LAND BAY "B"  
 LEFT SIDE ELEVATION  
 FULL BRICK  
 PEER PLAN

LEFT SIDE ELEVATION LAND BAY "B"  
 1/4" = 1'-0"

(LOTS 11 - 16)

ESI  
 Peer Review



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DIRECTOR	
DATE	
CARRIAGE PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	



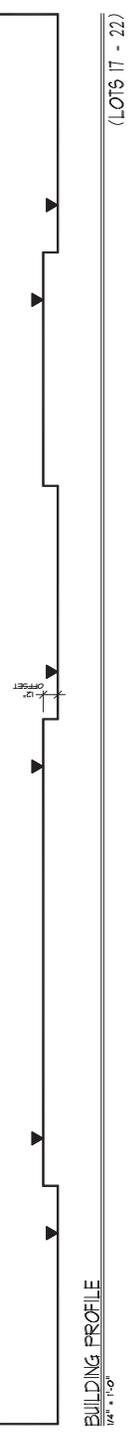
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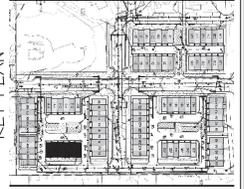


BY DIVISION	86
OPTION	OPTION DESCRIPTION
DATE	12/21/20
DRAWN BY	MAG
VERSION	
SHEET NO.	
PROJECT TITLE	UPLAND PARK
PROJECT LOCATION	LANDBANK 'B'
PROJECT ELEVATIONS	LOTS 17 - 22



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DIRECTOR	
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SHEET NO.	UPLAND PARK
WORKSHEET NO.	A-2
DRAWING TITLE	LANDSCAPE PLAN
DATE	7/24/20
OPTION	
BY DIVISION	
REAR ELEVATIONS	
LOT# 11 - 22	

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- ARCHITECTURAL SHINGLES
- BRICK PARAPET HALL
- ALUM. GUTTER
- 5/16x4 CORNER BRD. TYP.
- TRUSS CEILING / TRUSS TYP. PAINTED
- DOWNPOUT
- METAL RAILING TYP.
- W/O. CORNER TYP.
- BRICK SOLDIER HEAD FEATURE TYP.
- BRICK VENEER

LAND BAY "A"  
ELEVATION "B"  
PER PLAN

LAND BAY "B"  
ELEVATION "B"  
PER PLAN

**REAR ELEVATION LAND BAY "B"**  
 1/4" = 1'-0"

(LOTS 11 - 22)

**ESI Peer Review**

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DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

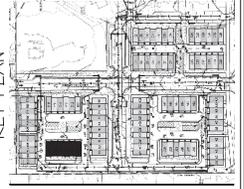
SITE PLAN NO.: \_\_\_\_\_ DATE: \_\_\_\_\_

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

CHARITABLE PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO.: \_\_\_\_\_ DEED BOOK NO.: \_\_\_\_\_ PAGE NO.: \_\_\_\_\_





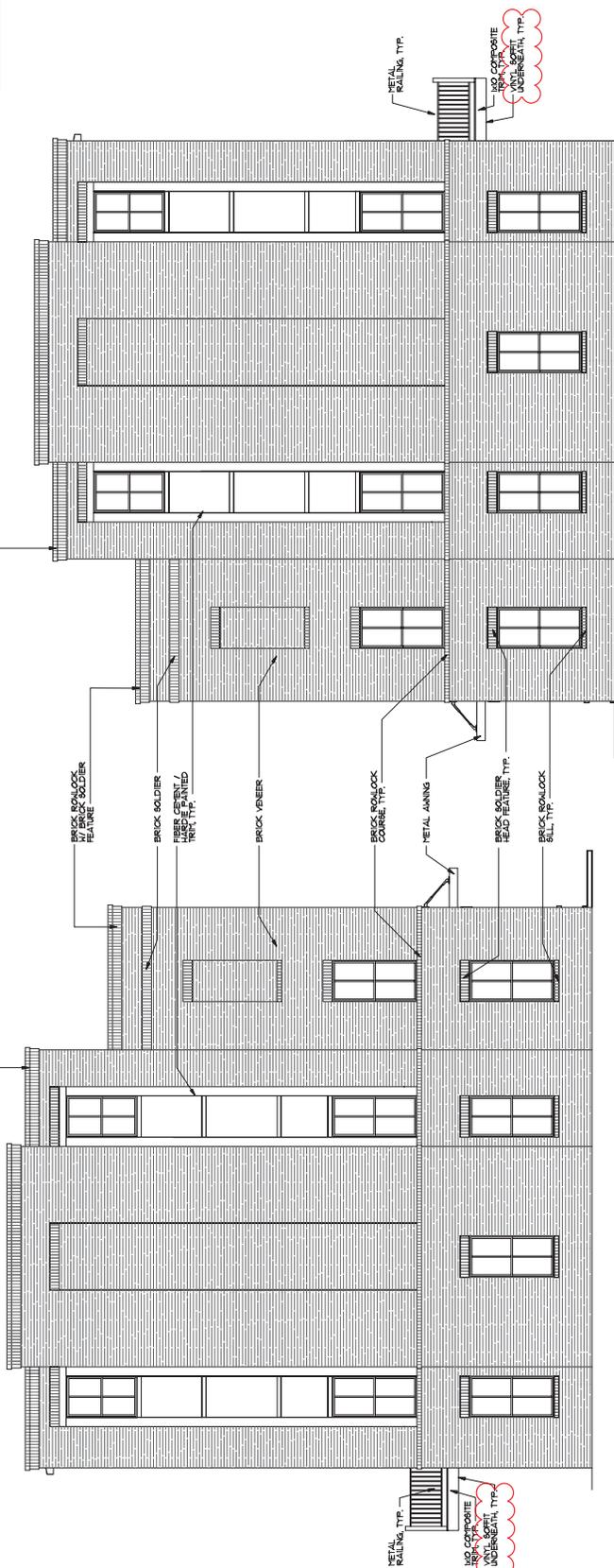
REV. NO.	DATE	REMARKS

With this contract, the contractor agrees to provide all necessary permits and fees for the project. The contractor shall be responsible for obtaining all necessary permits and fees. The contractor shall be responsible for obtaining all necessary permits and fees.



BY DIVISION	
OPTION	
DATE	7/24/20
DESIGNED BY	
VERSION	
SHEET NO.	
MODEL	
LAND PARK	
LANDING TITLE	
LANDMARK #	
LOT #	
SIDE ELEVATIONS	

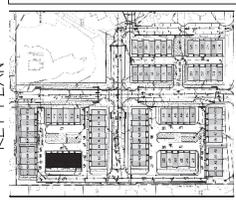
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LAND BAY "B"  
 LOT #22  
 FULL BRICK  
 PEER PLAN

LEFT SIDE ELEVATION LAND BAY "B"  
 1/4" = 1'-0"

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DIRECTOR	
DATE	
CHARMAN PLANNING CORPORATION	
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SHEET NO.	170
WORKS	UPLAND PARK
DRAWING TITLE	LANDSCAPE
DATE	7/24/20
DESIGNED BY	MAG
CHECKED BY	MAG
DATE	7/24/20
OPTION	
BY DIVISION	

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- ARCHITECTURAL SHIELDS
- BRACKET MALL
- METAL CORING
- HARDIE LAP SIDING
- FIBER CEMENT / HARDIE PAINTED TRIM
- ALUM. GUTTERS
- HARDIE LAP SIDING
- PAINTED TRIM - 4 PANELS, TYP.
- BRICK SOLDIER FEATURE
- 3/4" x 4" HARDIE TRIM SURROUND
- DOWNSPOUT
- 3/4" x 6" CORNER BRG. TYP.
- BRICK SOLDIER HEAD FEATURE, TYP.
- BRICK BOWTIE SILL, TYP.
- METAL AWNING
- BRICK VENEER

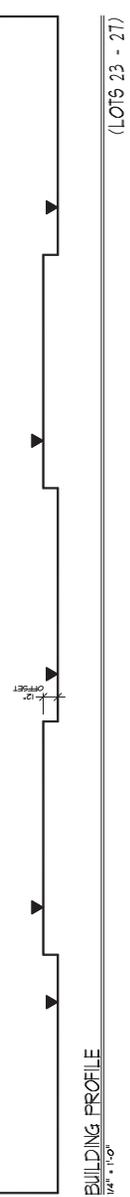
LAND BAY "B" LOT 23 ELEVATION "B" PER PLAN

LAND BAY "B" LOT 23 ELEVATION "B" PER PLAN

LAND BAY "B" LOT 23 ELEVATION "B" PER PLAN

LAND BAY "B" LOT 23 ELEVATION "B" PER PLAN

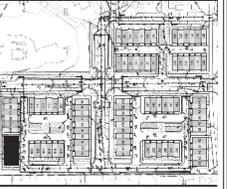
LAND BAY "B" LOT 23 ELEVATION "B" PER PLAN



1/4" = 1'-0"

1/4" = 1'-0"

KEY PLAN



ESI Peer Review

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DIRECTOR	
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SITE PLAN NO.	
DIRECTOR	
DATE	
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SHEET NO.	40
MODEL	UPLAND PARK
DRAWING TITLE	LANDSCAPE
DATE	7/24/20
OPTION	
BY DIVISION	

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LAND BAY "B"  
 ELEVATION "B"  
 PER PLAN

REAR ELEVATION LAND BAY "B"  
 1/4" = 1'-0" (LOTS 23 - 27)

**ESI Peer Review**

APPROVED SPECIAL USE PERMIT NO. \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

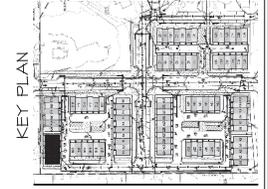
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DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHARITABLE PLANNING COMMISSION DATE \_\_\_\_\_

DATE REQUIRED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_





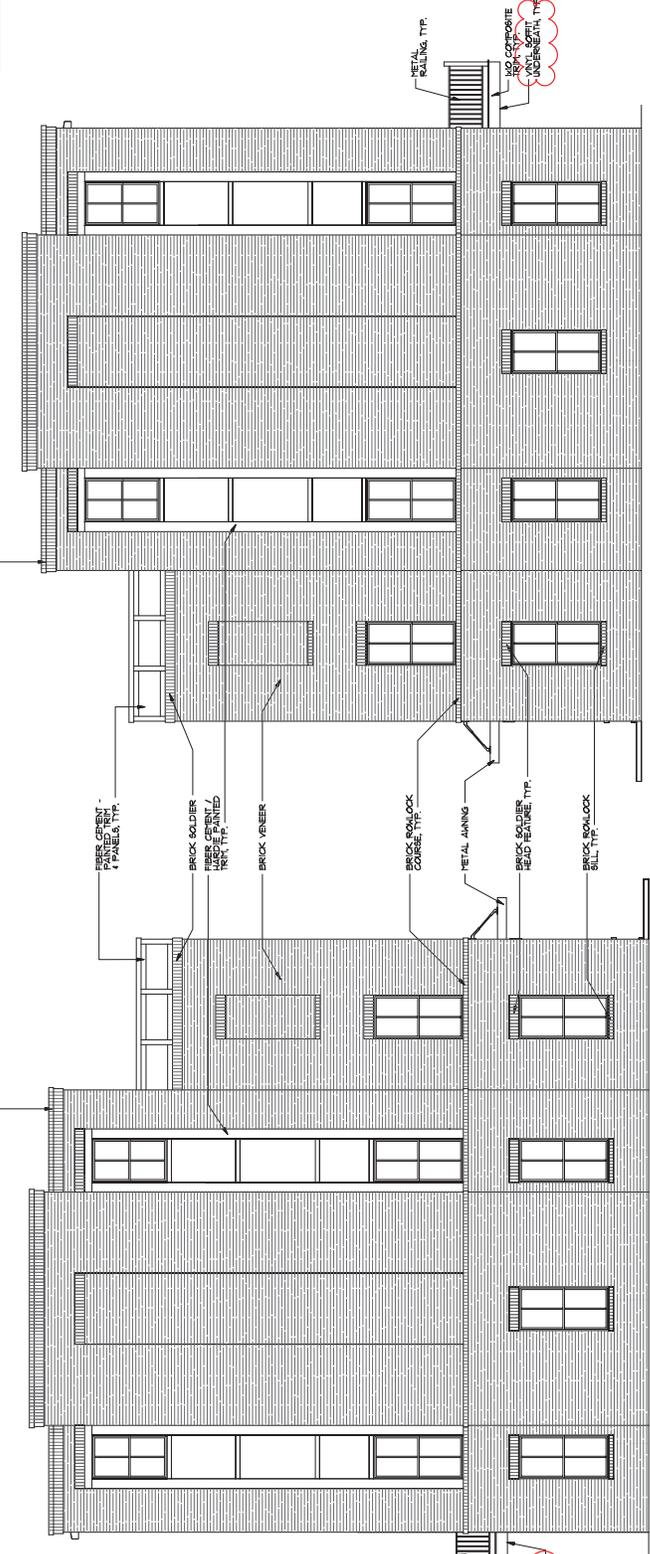
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SHEET NO.	4
WORKSHEET NO.	A-2
PROJECT TITLE	UPLAND PARK
DATE	7/24/20
DESIGNED BY	MAO
CHECKED BY	MAO
DATE	7/24/20
OPTION	
BY DIVISION	

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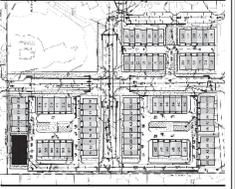
LAND BAY "B"  
 10'0" HIGH  
 FULL BRICK / FIBER  
 CEMENT MORTAR  
 FINISH

LAND BAY "B"  
 10'0" HIGH  
 FULL BRICK / FIBER  
 CEMENT MORTAR  
 FINISH

LEFT SIDE ELEVATION LAND BAY "B"  
 1/4" = 1'-0"

ESI  
 Peer Review

APPROVED SPECIAL USE PERMIT NO.	
DIRECTOR	
DATE	
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DIRECTOR	
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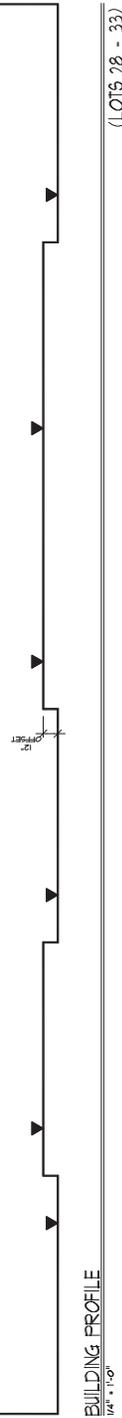


SHEET NO.	A-2
WORKS	UPLAND PARK
DRAWING TITLE	LAND BAY 'B'
DATE	7/24/20
OPTION	
BY DIVISION	
FRONT ELEVATIONS	

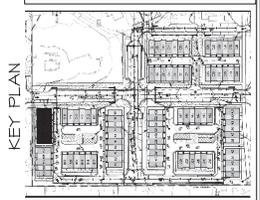
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 703.221.8888 • www.pinnacle-dc.com



FRONT ELEVATION LAND BAY 'B'  
 1/4" = 1'-0" (LOTS 28 - 33)



BUILDING PROFILE  
 1/4" = 1'-0" (LOTS 28 - 33)



ESJ Peer Review

APPROVED SPECIAL USE PERMIT NO.	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	
DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
DIRECTOR	
DATE	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	
DATE	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	
DATE	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	
DATE	
DEPARTMENT NO.	
DEED BOOK NO.	
PAGE NO.	



REV. NO.	DATE	REMARKS

NOTE: OWNER EXPRESSLY AGREES TO HOLD THE ARCHITECT HARMLESS FROM ALL LIABILITY, INCLUDING ATTORNEY'S FEES, IN CONNECTION WITH THIS CONTRACT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN.



BY DIVISION	
OPTION	
DATE	7/24/20
DRAWN BY	MAG
VERSION	
SHEET NO.	
MODEL	
DRAWING TITLE	UPLAND PARK
LANDMARK #'S	
REAR ELEVATION	43
LOT'S 28 - 33	

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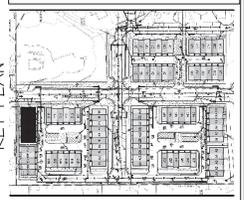
ARCHITECTURAL  
 SINGLES  
 BRICK  
 PARAPET WALL  
 ALUM. GUTTER  
 BRASS CORNER  
 BRG. TYP.  
 BRICK & PAINTED  
 TRIM TYP.  
 DOWNPOUT  
 METAL RAILING TYP.  
 WDG COMPOSITE  
 TRIM TYP.  
 BRICK & GLASS  
 HEAD FEATURE TYP.  
 BRICK VENEER

LAND BAY "B"  
 ELEVATION "R"  
 PER PLAN

REAR ELEVATION LAND BAY "B"  
 1/4" = 1'-0"

(LOTS 28 - 33)

ESI  
 Peer Review



APPROVED SPECIAL USE PERMIT NO.	
DIRECTOR	
DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	
DATE	
CHARITABLE PLANNING COMMISSION	
DATE REQUIRED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	



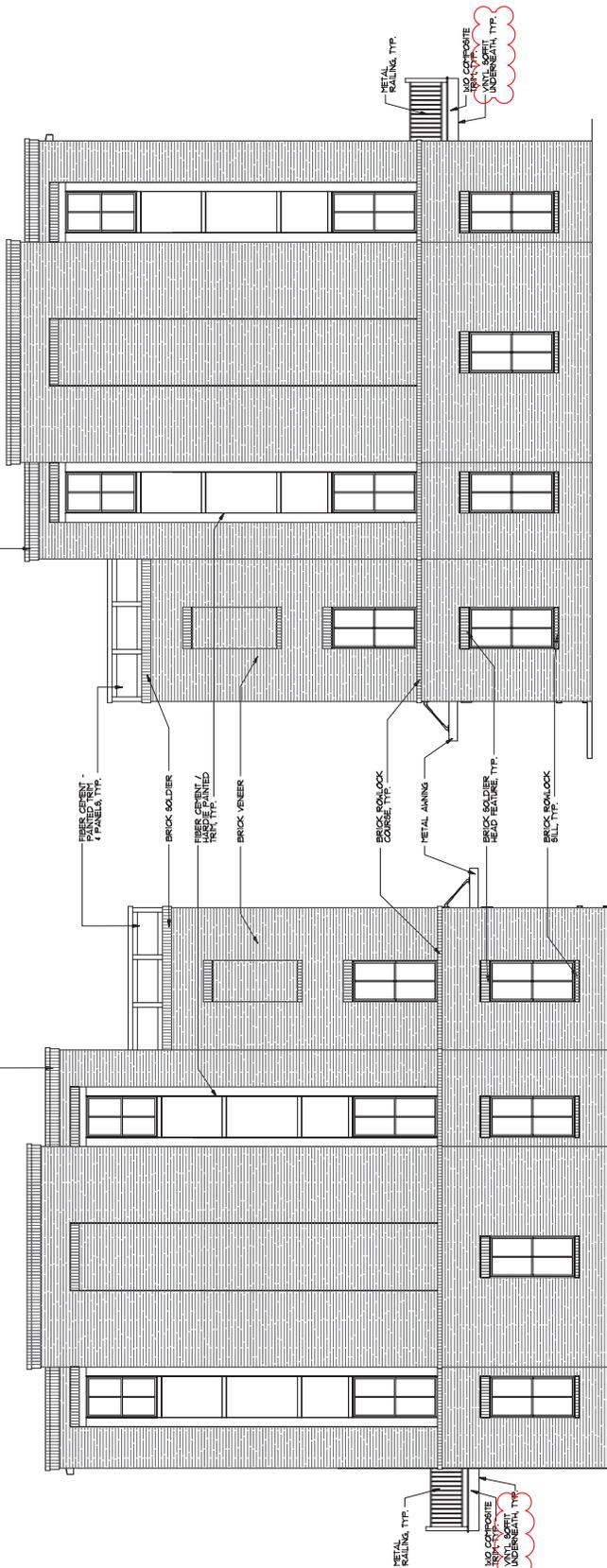
REV. NO.	DATE	REMARKS

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SHEET NO.	UPLAND PARK
WORKSHEET NO.	LAND BAY 'B'
DRAWING TITLE	LAND BAY 'B'
DATE	7/24/20
OPTION	
BY DIVISION	

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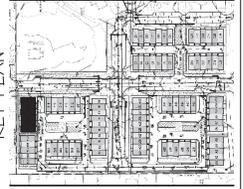
LAND BAY 'B'  
 ELEVATION  
 FULL BRICK / FIBER  
 CEMENT INSULATION  
 COURSE

LAND BAY 'B'  
 ELEVATION  
 FULL BRICK / FIBER  
 CEMENT INSULATION  
 COURSE

LEFT SIDE ELEVATION LAND BAY "B"  
 1/4" = 1'-0"

(LOTS 28 - 33)

ESI  
 Peer Review



APPROVED SPECIAL USE PERMIT NO.	
DIRECTOR	DATE
DEPARTMENT OF PLANNING & ZONING	ENVIRONMENTAL SERVICES
SITE PLAN NO.	DATE
DIRECTOR	DATE
CHARITAN PLANNING COMMISSION	DATE
DATE RECORDED	
PERMIT NO.	DEED BOOK NO.
	PAGE NO.





REVISIONS	REV. NO.	DATE

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BY DIVISION	46
REAR ELEVATIONS	
OPTION	
DATE	7/24/20
DRAWN BY	MAG
VERSION	
PROJECT NO.	
WORKSHEET	
DRAWING TITLE	UPLAND PARK
LANDMARK	
LOT	A-2
REAR ELEVATIONS	

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EXISTING  
 BUILDING

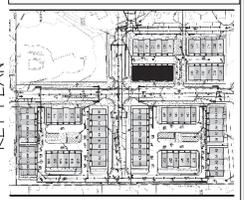
- BRICK CORNER
- BRICK PARAPET WALL
- ALUM. GUTTER
- BRICK CORNER
- FIBER CEMENT / INSIDE PAINTED
- DOWNPOUT
- METAL RAILING, TYP.
- INS. COMP. W/ WHITE
- BRICK VENEER

LAND BAY 'C'  
 ELEVATION 'R'  
 PER PLAN

REAR ELEVATION LAND BAY "C"  
 1/4" = 1'-0"

(LOTS 1 - 7)

ESI  
 Peer Review



APPROVED SPECIAL USE PERMIT NO.	
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DIRECTOR	
DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
DIRECTOR	
DATE	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	
DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
DIRECTOR	
DATE	
PERMIT NO.	
DEED BOOK NO.	
PAGE NO.	



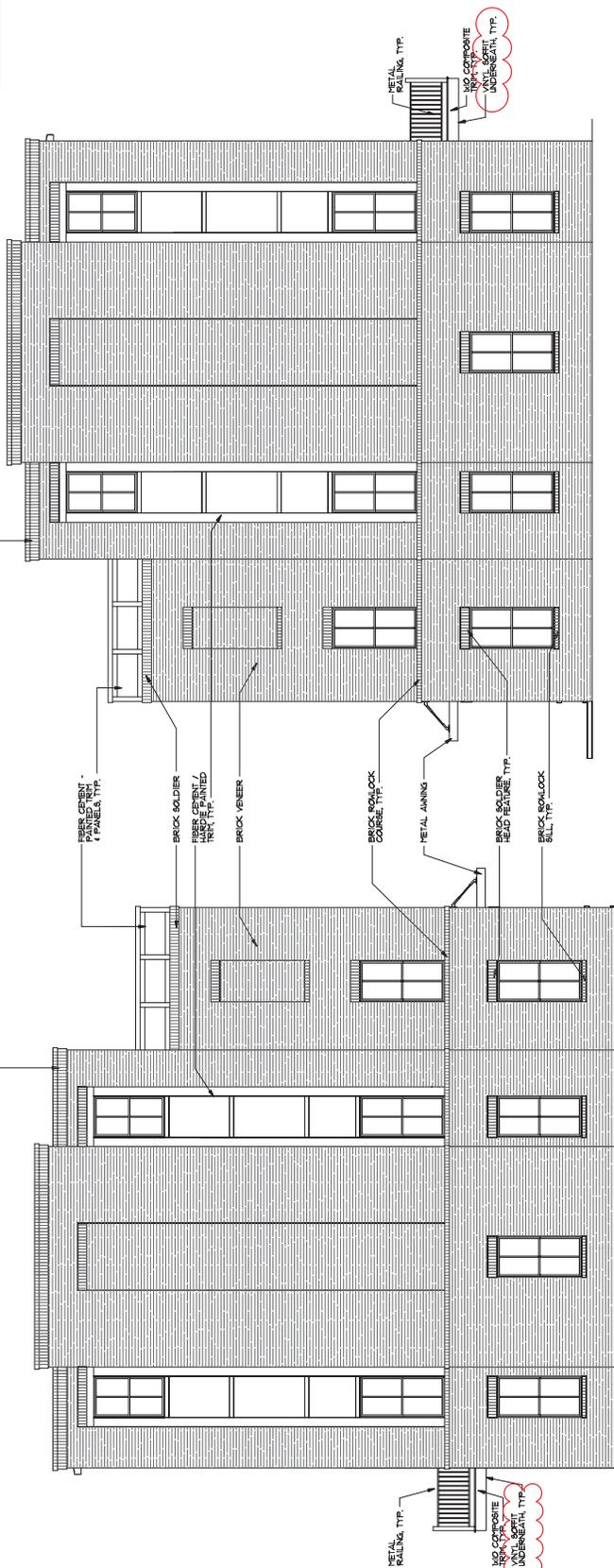
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SHEET NO.	47
WORKS	LAND PARK
DRAWING TITLE	LAND PARK
DATE	7/24/20
OPTION	
BY DIVISION	

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 Tel: 703.231.8888 Fax: 703.231.8889

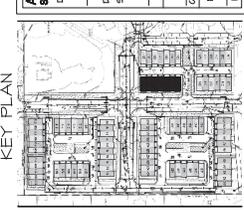


LAND BAY 'C'  
 LOT 10  
 FULL BRICK / FIBER  
 COURSE  
 PER PLAN

LEFT SIDE ELEVATION LAND BAY 'C'  
 1/4" = 1'-0"

(LOTS 1 - 7)

ESI  
 Peer Review



APPROVED SPECIAL USE PERMIT NO.	
DIRECTOR	
DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	
DATE	
CHARITABLE PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	



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SHEET NO.	A-2
WORKS	LAND PARK
DRAWING TITLE	LAND PARK
DATE	7/24/20
OPTION	
BY DIVISION	
FRONT ELEVATIONS	48
LOT NO. 14	

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 ARCHITECTS & INTERIORS  
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ARCHITECTURAL SHINGLES

BRICK FACED / PAINTED TRIM

METAL COPING

WASHER LIP SIDING

ALUM. GUTTER

BRICK ROWLOCK

METAL JANNING

BRICK VENEER

DOWNPOUT

BRICK CORNER BRD. TRIM

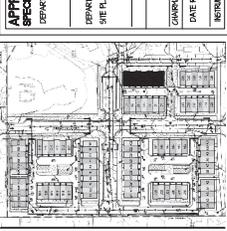
BRICK SOLDER COURSE

FRONT ELEVATION LAND BAY "C"  
 1/4" = 1'-0"

BUILDING PROFILE  
 1/4" = 1'-0"

(LOTS 8 - 14)

KEY PLAN



ESI  
 Peer Review

APPROVED SPECIAL USE PERMIT NO.	
DIRECTOR	
DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	
DATE	
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DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	



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SHEET NO.	49
WORKSHEET	UPLAND PARK
DRAWING TITLE	LANDSCAPE
DATE	7/24/20
OPTION	
BY DIVISION	
REAR ELEVATIONS	

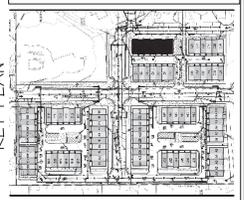


LAND BAY 'C'  
 ELEVATION 'R'  
 PARALLEL TO PARK  
 REFER TO PLAN

REAR ELEVATION LAND BAY 'C'  
 1/4" = 1'-0"

(LOTS 8 - 14)

ESI  
 Peer Review



APPROVED SPECIAL USE PERMIT NO.	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	
DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
DIRECTOR	
DATE	
CHAIRMAN PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	



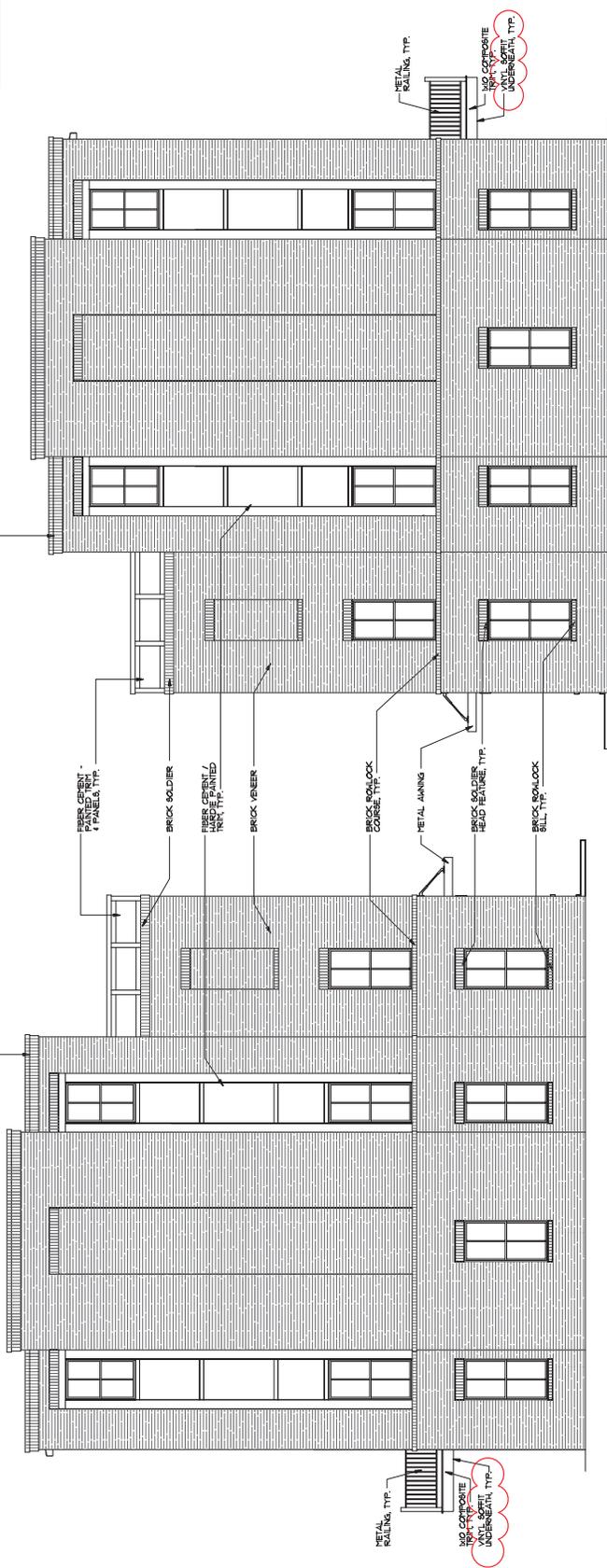
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SHEET NO.	50
WORKSHEET NO.	A-2
PROJECT TITLE	UPLAND PARK
DATE	7/24/20
DESIGNED BY	MAJG
CHECKED BY	MAJG
DATE	7/24/20
BY DIVISION	

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 Tel: 703.233.8888 • Fax: 703.233.8889



LAND BAY 'C'  
 ELEVATION 3"  
 FULL BRICK / FIBER  
 CEMENT PANELS  
 1/4" = 1'-0"

LEFT SIDE ELEVATION LAND BAY 'C'  
 1/4" = 1'-0"

(LOTS 8 - 14)

ESI  
 Peer Review

**APPROVED SPECIAL USE PERMIT NO.**

DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. \_\_\_\_\_ DATE \_\_\_\_\_

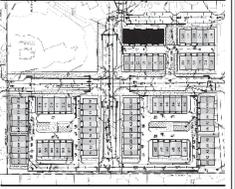
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

PERMIT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

KEY PLAN





REV. NO.	DATE	REMARKS

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DATE	7/24/20
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VERSION	
SHEET NO.	
MODEL	
DRAWING TITLE	UPLAND PARK
PROJECT NO.	
LOT 15 - 20	
FRONT ELEVATIONS	

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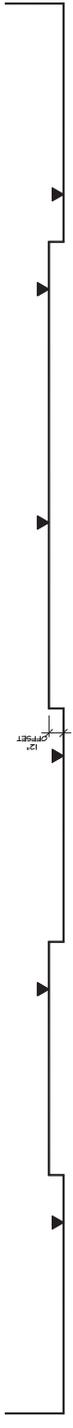


LAND BAY 'C'  
 LOT 15  
 FULL BRICK / FIBER CEMENT  
 BRICK PLAN

LAND BAY 'C'  
 ELEVATION 'B'  
 REVERSE

LAND BAY 'C'  
 LOT 15  
 FULL BRICK / FIBER CEMENT  
 BRICK PLAN

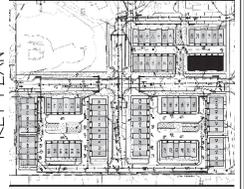
FRONT ELEVATION LAND BAY 'C'  
 1/4" = 1'-0"



BUILDING PROFILE  
 1/4" = 1'-0"

ESI  
 Peer Review

APPROVED SPECIAL USE PERMIT NO.	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	DATE
SITE PLAN NO.	DATE
DIRECTOR	DATE
CARRIAGEWAY PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
	PAGE NO.







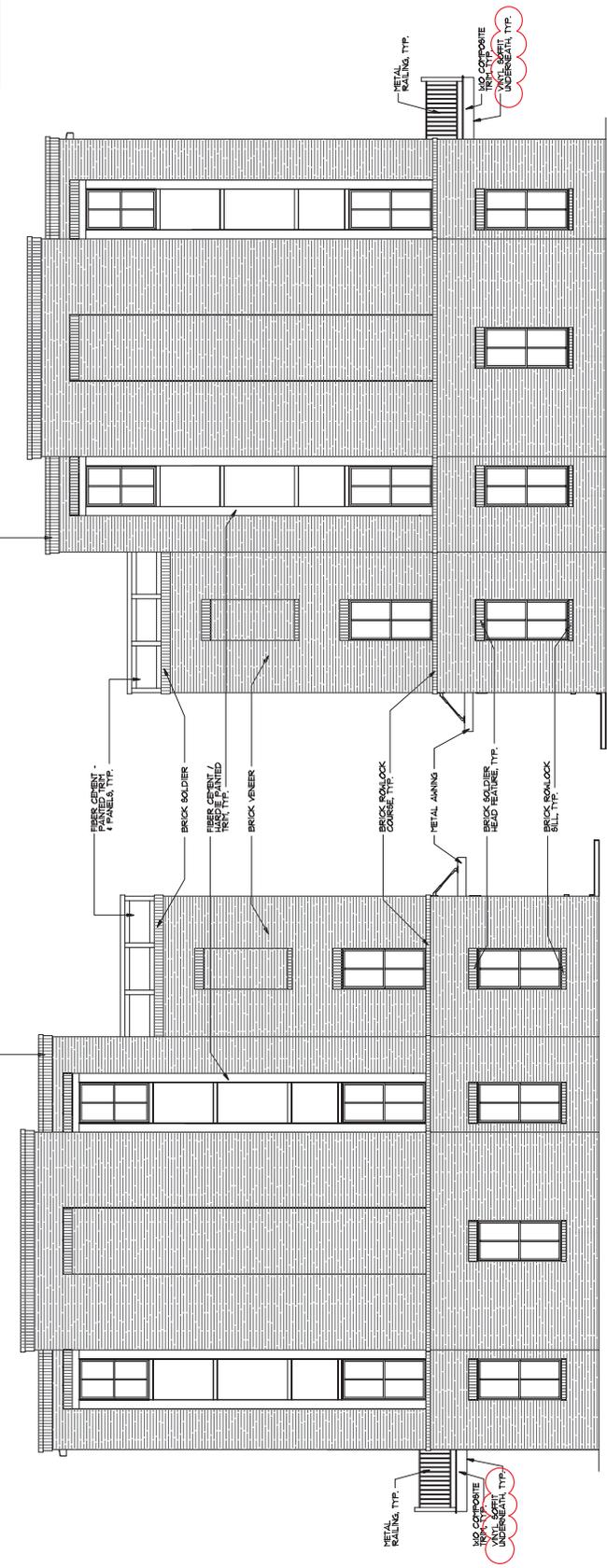
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DATE	7/24/20
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VERSION	
SHEET NO.	
MODEL	
LAND PARK	
DRAWING TITLE	
LOT 15 - 20	
SIDE ELEVATIONS	

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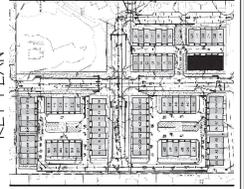


LAND BAY 'C'  
 ELEVATION  
 FULL BRICK / FIBER  
 CEMENT  
 PER PLAN

LAND BAY 'C'  
 ELEVATION  
 FULL BRICK / FIBER  
 CEMENT  
 REVERSE

LEFT SIDE ELEVATION LAND BAY "C"  
 1/4" = 1'-0"

ESI  
 Peer Review



APPROVED	DATE
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DIRECTOR	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	
CHARITABLE PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	
DEED BOOK NO.	
PAGE NO.	



REVISIONS	REV. NO.	DATE

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SHEET NO.	A-2
MODEL	LAND PARK
DRAWING TITLE	LAND PARK
DATE	7/24/20
DESIGNED BY	MAJG
CHECKED BY	MAJG
DATE	7/24/20
BY DIVISION	

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LAND BAY 'C' LOT 21 FULL BRICK / FIBER CEMENT PER PLAN

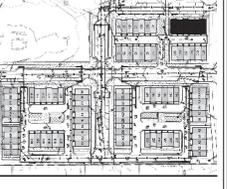
LAND BAY 'C' ELEVATION 'B' PER PLAN

FRONT ELEVATION LAND BAY 'C' II  
 1/4" = 1'-0"



BUILDING PROFILE  
 1/4" = 1'-0"

KEY PLAN



ESI  
 Peer Review

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DIRECTOR	
DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO.	
DIRECTOR	
DATE	
CHARITABLE PLANNING COMMISSION	
DATE RECORDED	
REVISION NO.	
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PAGE NO.	



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- BRICK VENEER
- BRICK PARAPET WALL
- ALUM. GUTTER
- DOWNPOUT
- METAL RAILING, TYP.
- 1/2" COMP. CORE
- BRICK CORNER
- BACK TOP
- FIBER CEMENT / GYPSUM BOARD, TYP.
- 1/2" GYPSUM BOARD, TYP.
- BRICK VENEER

LAND BAY 'C'  
 ELEVATION 'R'  
 PER PLAN  
 PER PERM

LAND BAY 'C'  
 ELEVATION 'R'  
 PER PLAN  
 PER PERM

LAND BAY 'C'  
 ELEVATION 'R'  
 PER PLAN  
 PER PERM

LAND BAY 'C'  
 ELEVATION 'R'  
 PER PLAN  
 PER PERM

LAND BAY 'C'  
 ELEVATION 'R'  
 PER PLAN  
 PER PERM

LAND BAY 'C'  
 ELEVATION 'R'  
 PER PLAN  
 PER PERM

LAND BAY 'C'  
 ELEVATION 'R'  
 PER PLAN  
 PER PERM

REAR ELEVATION LAND BAY "C"  
 1/4" = 1'-0"

(LOTS 21 - 26)

ESI  
 Peer Review

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DEPARTMENT OF PLANNING & ZONING

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

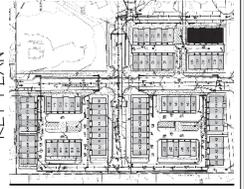
SITE PLAN NO.: \_\_\_\_\_ DATE: \_\_\_\_\_

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

CHAIRMAN PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE RECORDED: \_\_\_\_\_

INSTRUMENT NO.: \_\_\_\_\_ DEED BOOK NO.: \_\_\_\_\_ PAGE NO.: \_\_\_\_\_







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BY DIVISION	
OPTION	
DATE	7/24/20
DRAWN BY	MACG
VERSION	
SHEET NO.	
WORKSHEET TITLE	UPLAND PARK
MOCK-UP PANEL	
A-2	
57	



APPROVED	
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DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	
DATE	
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SITE PLAN NO.	
DIRECTOR	
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DATE RECEIVED	
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 SITE PLAN NO.  
 DIRECTOR  
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 DATE RECEIVED  
 REVISION NO.  
 DEED BOOK NO.  
 PAGE NO.



MOCK-UP PANEL  
 1/4" = 1'-0"

**COLOR LEGEND:**

**BRICK:**

- ① BERKSHIRE
- ② CHARRED OAK
- ③ WESTCHESTER GRAY
- ④ BRACING BLUE
- ⑤ LACAVA
- ⑥ CORDOBA

**SIDING:**

- ① BROWN BLAZE
- ② DEEP OCEAN
- ③ NIGHT GRAY
- ④ GRAY SLATE
- ⑤ WETLANDS

**ROOF:**

- CHARCOAL

**DOORS, WINDOWS & TRIM:**

- BRONZE

SEE SHEETS C-0601 & C-0602 FOR MOCK-UP PANEL LOCATION





REVISIONS	REV. NO.	DATE

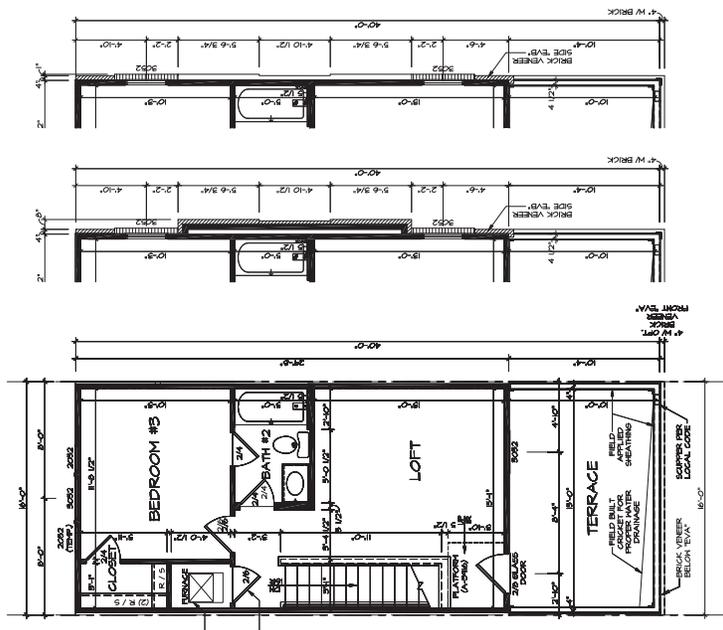
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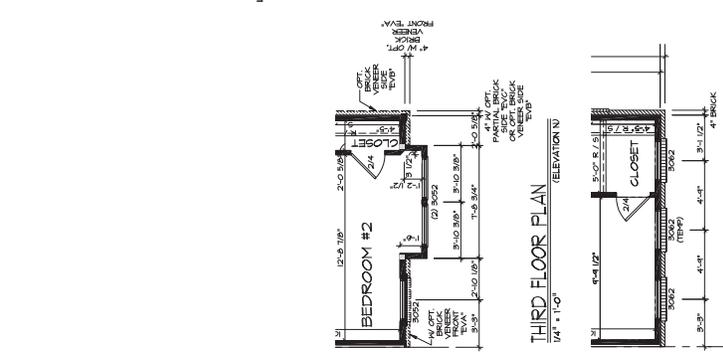


SHEET NO.	1-01
WORKSHEET NO.	LAND PARK
DRAWING TITLE	LABORATORY AND C.
DATE	7/24/20
OPTION	
BY DIVISION	
DESIGNED BY	MAO
VERSION	
SET NO.	

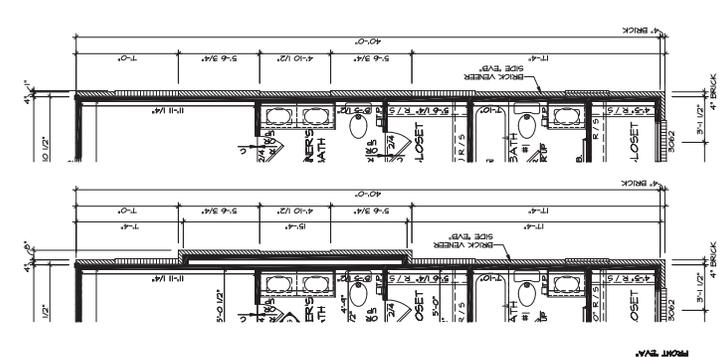
**Pinnacle Design & Consulting, Inc.**  
 11719 Park Lake, Suite 400 • Fairfax, Virginia 22030  
 Tel: 703.233.8888 • Fax: 703.233.8889



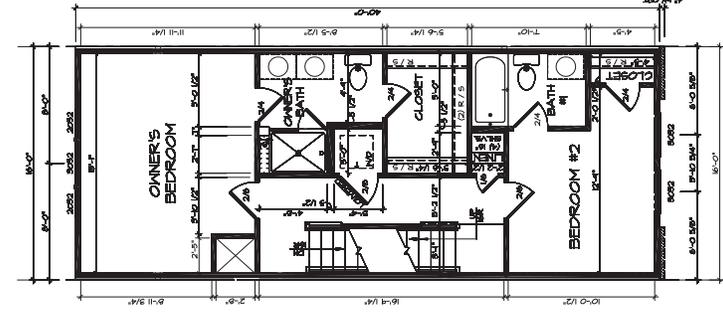
FOURTH FLOOR PLAN  
 1/4" = 1'-0" (ELEVATIONS TN & FP)



THIRD FLOOR PLAN  
 1/4" = 1'-0" (ELEVATION P)



PART. 3RD. FLR.  
 (END UNIT)  
 1/4" = 1'-0" 1/2" CHINNET (ELEV. P)



PART. 3RD. FLR.  
 (END UNIT)  
 1/4" = 1'-0" 1/2" CHINNET (ELEV. P)

THIRD FLOOR PLAN  
 1/4" = 1'-0" (ELEVATION TP)

PART. 4TH. FLR.  
 (END UNIT)  
 1/4" = 1'-0" 1/2" CHINNET (ELEV. P)

PART. 4TH. FLR.  
 (END UNIT)  
 1/4" = 1'-0" 1/2" CHINNET (ELEV. P)

**ESI Peer Review**

APPROVED SPECIAL USE PERMIT NO. \_\_\_\_\_

DEPARTMENT OF PLANNING & ZONING

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF INSPECTORIAL & ENVIRONMENTAL SERVICES

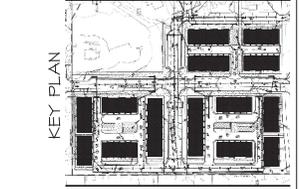
SITE PLAN NO. \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHARSMAN PLANNING CORPORATION

DATE RECORDED \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_ DEED BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_



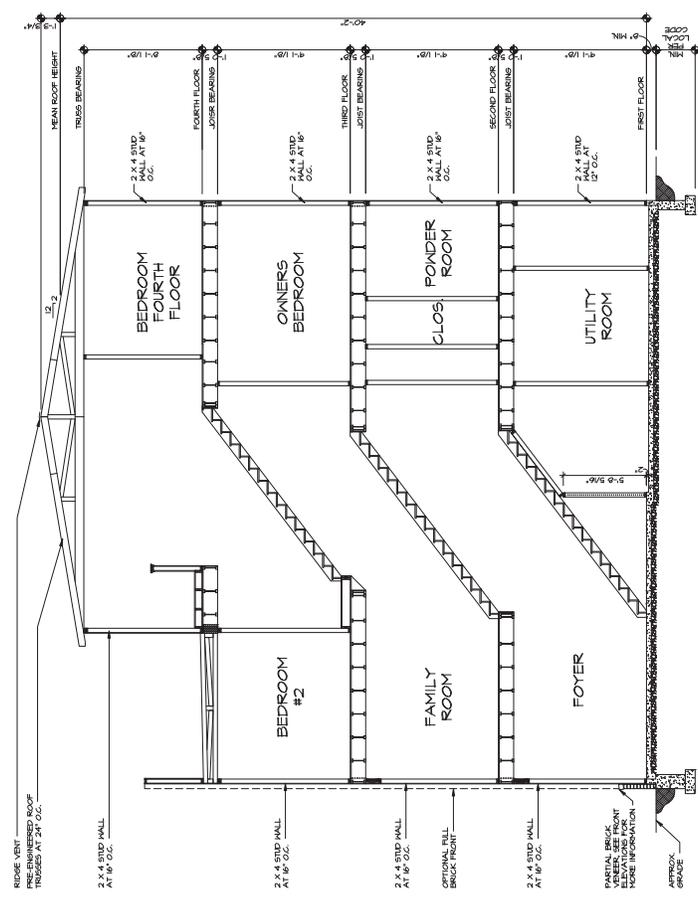


REV. NO.	DATE	REMARKS

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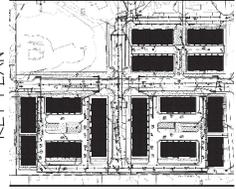


SHEET NO.	60
WORK	UPLAND PARK
DRAWING TITLE	LABORATORY 'A, B AND C'
DESIGNED BY	MAJ
DATE	7/24/20
OPTION	
BY DIVISION	



BUILDING SECTION @ STAIR  
1/4" = 1'-0"

ESI  
Peer Review



APPROVED SPECIAL USE PERMIT NO.	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF INSPECTORIAL & ENVIRONMENTAL SERVICES	DATE
SITE PLAN NO.	DATE
DIRECTOR	DATE
CHARITABLE PLANNING COMMISSION	DATE
DATE RECEIVED	
INSTRUMENT NO.	DEED BOOK NO.
	PAGE NO.

































REV. NO.	DATE	REMARKS

DATE: 10/14/2021  
 TIME: 10:00 AM  
 PROJECT: GREEN BUILDING PLAN  
 DRAWING NO.: UPLAND PARK  
 SHEET NO.: 1  
 BY: DIVISION



DATE: 10/14/2021  
 TIME: 10:00 AM  
 PROJECT: GREEN BUILDING PLAN  
 DRAWING NO.: UPLAND PARK  
 SHEET NO.: 1  
 BY: DIVISION

**ESJ Peer Review**

APPROVED SPECIAL USE PERMIT NO. \_\_\_\_\_  
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
 SUPERVISOR OF INSPECTORIAL & ENVIRONMENTAL SERVICES: \_\_\_\_\_ DATE: \_\_\_\_\_  
 SITE PLAN: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CHAIRMAN PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DATE RECORDED: \_\_\_\_\_  
 INSTRUMENT NO.: \_\_\_\_\_ DEED BOOK NO.: \_\_\_\_\_ PAGE NO.: \_\_\_\_\_

**ENERGY STAR CERTIFIED NEW CONSTRUCTION**

HomeLink Address: Alexandria, VA 22304

Project Name: UPLAND PARK

Program Number: 3.0

**UNCONFIRMED**

Organization: PEG  
 Inspection Status: Results are pending

**Standard Features of ENERGY STAR Certified New Homes and Apartments**

Your ENERGY STAR certified developer or architect has had inspections, contracts and standards for each item across your entire project verified by the U.S. Environmental Protection Agency (EPA), including:

- Thermal Envelope System**
  - Minimum R-15 insulation in exterior walls
  - Minimum R-30 insulation in roof/ceiling
  - Minimum R-5 insulation in floor
  - Minimum R-5 insulation in basement walls
  - Minimum R-5 insulation in crawlspace walls
  - Minimum R-5 insulation in foundation walls
  - Minimum R-5 insulation in garage walls
  - Minimum R-5 insulation in porch walls
  - Minimum R-5 insulation in sunroom walls
  - Minimum R-5 insulation in porch roof
  - Minimum R-5 insulation in sunroom roof
  - Minimum R-5 insulation in porch floor
  - Minimum R-5 insulation in sunroom floor
  - Minimum R-5 insulation in porch ceiling
  - Minimum R-5 insulation in sunroom ceiling
  - Minimum R-5 insulation in porch foundation
  - Minimum R-5 insulation in sunroom foundation
  - Minimum R-5 insulation in porch foundation walls
  - Minimum R-5 insulation in sunroom foundation walls
  - Minimum R-5 insulation in porch foundation ceiling
  - Minimum R-5 insulation in sunroom foundation ceiling
  - Minimum R-5 insulation in porch foundation floor
  - Minimum R-5 insulation in sunroom foundation floor
  - Minimum R-5 insulation in porch foundation ceiling walls
  - Minimum R-5 insulation in sunroom foundation ceiling walls
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  - Minimum R-5 insulation in porch foundation ceiling walls floor
  - Minimum R-5 insulation in sunroom foundation ceiling walls floor
  - Minimum R-5 insulation in porch foundation ceiling walls floor
  - Minimum R-5 insulation in sunroom foundation ceiling walls floor
- Water Management System**
  - Minimum 1/2" drainage slope
  - Minimum 1/4" drainage slope
  - Minimum 1/8" drainage slope
  - Minimum 1/16" drainage slope
  - Minimum 1/32" drainage slope
  - Minimum 1/64" drainage slope
  - Minimum 1/128" drainage slope
  - Minimum 1/256" drainage slope
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  - Minimum 1/1024" drainage slope
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